





Planned Area Development Amendment

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# INTRODUCTION

# Project Overview& History

The DeRosier Ranch Planned Area Development (PAD) is located south of W. Yuma Road, east of N. Cotton Lane (Future Loop 303), north of W. Pima Street and west of Canyon Trails Unit 4 South in the north central part of the City of Goodyear, Arizona. (See Exhibit A, Context Map) The Project is approximately 45.51 acres in size and is currently developed agriculture land with the exception of approximately 5 acres containing Romans Oasis, the original DeRosier Grocery and DeRosier farm house and barns. From the site there are Estrella Mountain views to the southwest. The majority of the project site is currently zoned as part of the Canyon Trails Phase 2 PAD Ordinance #99-676 with zoning designations of Commercial (approximately 14 acres) and SF-1 (approximately 24 acres). The remaining 5.91 acres is currently zoned AU and including the aforementioned Romans Oasis, DeRosier Grocery Building and DeRosier Farmstead. This Planned Area Development (PAD) application enhances the commercial zoning along W. Yuma road (adding the 5.91 acres of AU into the project) and introduces a unique residential Pocket Neighborhood design concept while furthering the plans for a high quality master planned community. The proposed PAD offers a mix of commercial, common area open space, and residential land uses that will provide opportunities for a variety of consumers, home buyers and residents. The addition of new and varied housing opportunities in the form of Pocket Neighborhoods both as for sale single family residences and for lease apartment homes will allow for "complete neighborhoods" to serve all age groups and multiple income levels, creating a dynamic and vibrant living environment at DeRosier Ranch.

# Owner Profile

The Urban Fabric Builders team provides the greater Phoenix area with more than 100 years of combined experience in land acquisition, home building, and construction. This industry experience allows a better understanding of changing needs in our dynamic marketplace and has provided the opportunity to reshape the concept of home, the neighborhood and the community.

With an emphasis on livability, high-performance components, and community, all Urban Fabric communities and homes are carefully planned, designed, and crafted to create the healthiest possible home for our residents.

Urban Fabric has specialized in the development of in-fill projects. DeRosier Ranch's proximity to the future Loop 303 freeway, being just south of Canyon Trails Towne Center and in the center of Canyon Trails, makes this location ideally situated to become an "in-fill" community.

The Project is also located within 2-5 miles of the City of Goodyear's top 5 employers providing residents with employment opportunities as well as access to services. With these factors, along with the quality and attention to detail Urban Fabric brings to their project, we believe DeRosier Ranch will attract residents from the Phoenix metropolitan area, as well as greater Maricopa County.

# Purpose of Request

The purpose of this request is to create a Planned Area Development (PAD) for a mixed-use Master Planned Community, primarily consisting of Pocket Neighborhoods, located east of the southeast corner of Cotton Lane and W. Yuma Road in the City of Goodyear Arizona. The majority of the project is currently zoned under the the Canyon Trails Phase 2 PAD ORD#99-676. The Project, known as DeRosier Ranch, is a collection of 5 parcels of privately owned land (APNs 500-06-007, 500-06-012C, 500-06-012E, 500-06-012F, 500-06-012H). All but approximately 5.91 acres of the 45.51 acre Project was zoned in 1999 as part of the Canyon Trails Phase 2 PAD. The remaining 5.91 acres is current zoning AU and will be added as part of the Commercial Zoned parcels within the DeRosier Ranch PAD as part of this request.

While in a suburban setting, the project is truly an "in-fill" property within the greater context of the Canyon Trails master plan and of the City of Goodyear. This request provides a new mixed use community utilizing an innovative design concept for living known as the "pocket neighborhood". DeRosier Ranch will live and be developed in a complimentary and harmonious fashion with the existing residential neighborhoods to the east and south, as well as the Canyon Trails Towne Center commercial development to the north.

# Consistency and General Plan Conformance

Many changes have taken place in the development landscape since the current entitlement for DeRosier Ranch was established in 1998. A primary change guiding development in Goodyear is the adoption of the City of Goodyear's General Plan "Goodyear 2025". DeRosier Ranch has two distinct land use designations as defined by the updated General Plan, Neighborhood and Business & Commerce. The two land use categories were instrumental in the shaping of the master plan for DeRosier Ranch and are defined below. (See Exhibit D, General Plan)

# **Neighborhoods**

Provides areas for the growth and development of neighborhoods. Neighborhoods include a wide range of densities and housing products, public and community facilities such as schools and places of worship, and commercial uses at appropriate intensities and locations.

# **Business & Commerce**

The Business & Commerce category provides areas for the growth and development of Goodyear's economic base including large areas for shopping and entertainment. This category includes uses such as community level retail, entertainment, service oriented businesses that are regionally significant (typically serving a trade area of 5-10 miles or larger). Business & Commerce includes uses such as, but not limited to, business parks, offices, warehouses, regional hospitals, high density residential that supports the area, and other light industrial uses that are also appropriate in certain areas. This category may also include public & community facilities

As part of the City of Goodyear's General Plan "Goodyear 2025" Chapter 8 – Land Use And Transportation Plan clearly defined "Development Standards" are set forth. Attached is **Appendix A - General Plan Conformance**. Within Appendix A each of the Universal Standards 1 through 10 are addressed in detail for DeRosier Ranch as are the specific Development Standards that are defined for "Neighborhoods" and "Business & Commerce" accordingly. The Develop Standards that apply to DeRosier Ranch are met or exceed and the plan is in Conformance with the City of Goodyear's General Plan "Goodyear 2025".

(See Appendix A General Plan Conformance)

# EXISTING ZONING, PROPOSED ZONING AND COMPATIBILITY WITH SURROUNDING USES AND ZONING

Currently the project has approximately 14 acres of commercial zoning "Commercial PAD" and approximately 24 acres of residential zoning district "SF-1 PAD" entitled under the Canyon Trails Phase 2 Pad as well as 5.91 acres of "AU" zoning. The current entitlement for residential uses is allocated within the SF-1 PAD zoning district and commercial uses within both the Commercial PAD and AU zoning categories. (See Exhibit E, Existing Zoning) This proposal rezones the 5.91 acres of "AU" zoned land adjacent the southern edge of W. Yuma Road to "DeRosier Ranch Commercial PAD" while maintaining a total of 14 acres of commercial zoning for the Project. In order to increase the viability of the commercial development, the design concentrates the majority of the commercial along the W. Yuma frontage while integrating more pedestrian scale, "store front" mixed-use commercial as a transition to residential pocket neighborhood land uses to the south. The remaining approximately 31.51 acres will be zoned as a residential use. The residential land use will be zoned as DeRosier Ranch Pocket Neighborhood Residential PAD. There are two residential Development Options that can be selected under DeRosier Ranch Residential PAD; one option is the single family residential category "Pocket Neighborhood 1A" or "PN-1A" and the second is "Pocket Neighborhood 2A" "PN-2A" allowing for single family attached and multi-family housing. One or more of the following Development Options shall be selected at the point of or prior to subdivision plat or site plan submittal. Should DeRosier Ranch be developed as a "conventional" or not as a "pocket neighborhood" all residential zoning will revert to City of Goodyear Residential Zoning District R1C. (See Exhibit F-Zoning Plan)

The new DeRosier Ranch PAD proposes the following revisions to the existing entitlement:

- ❖ Includes 5.91 acres of AU zoned land that will be zoned as DeRosier Ranch Commercial PAD.
- Improve open space within the project to create walkable streets, livable pocket neighborhoods and a more amenity rich community.
- ❖ Activates much of the 15% residential open space with Commons and Parkway open space as well as a Community Recreation Center and Central Park.
- ❖ Introduces non-traditional single family residential in the form of Pocket Neighborhood "commons" oriented homes, both in the single family and for multifamily pocket neighborhoods.
- Creates a more cohesive commercial land use configuration along W. Yuma Road
- Sets forth development standards that are project specific to the new proposed Land Use Plan.
- Introduces revised street sections with expanded six (6) foot landscape planting area and defined on street parking for more "complete streets".
- ❖ Introduce "the lane" in order to "corral the car" and eliminate individual residential driveways from the local loop road.
- Provides a phased infrastructure system to support development in an efficient and timely manner while solving the current infrastructure issues on W. Yuma Road.

The DeRosier Ranch PAD creates the framework to allow for the development of a dynamic community with a mix of commercial uses, pocket neighborhood residential land uses designed around common area open space and parkways and will provide opportunities for a variety of home buyers and users.

Development Standards - Single Family District - ZONING COMPARISON					
	Existing Zoning Development Standards	City R1-A Standard	Proposed Development Standards		
Standard	Canyon Trails SF-1 PAD	R1-A	PN-1A Development Option		
Lot Standards					
Minimum Lot Area (sq ft)	4,750	2,800	2,800		
Minimum Lot Width (ft)	50	35	35		
Minimum Lot Depth (ft)	95	80	70		
Building Form and Location					
Maximum Height (ft)	30	30	30		
Maximum Building Coverage	45%	75%	75%		
Minimum Setbacks (ft)					
Front (1)(2)	18-21	10	10		
Front facing garage	18	20	N/A		
Side	5 & 10	0/3	0 (3)		
Total both sides (3)	15	0/3	0 /5		
Street Side (4)	10	10	10		
Rear	20	15	5		
Development Standards					
Open Space % (of net area)	15	15	15		

<sup>(1)</sup> Front setback shall be measured to covered patios, covered porches, livable space, or side entry garages

# **DENSITY**

The DeRosier Ranch PAD has a maximum density of 12.0 dwelling unit per gross residential acre or 378 dwelling units total. The type of dwelling units will be determined prior to or at the time of plat or site plan submittal.

<sup>(2)</sup> Setback from a public or private street that is not providing direct vehicular access to homes shall be 10 feet

<sup>(3)</sup> Attached side setbacks shall be 0 feet, whereas building separation shall be a minimum of 10 feet

<sup>(4)</sup> Where a minimum 10 foot wide landscape tract is provided, the typical side setbacks, rather than Street Side setback applies

# **EXISTING CONDITIONS**

# Property Location, Surroundings and Suitability

DeRosier Ranch encompasses approximately 45.51 acres and is located in North-Central Goodyear, Arizona. Its position, approximately two (2) miles south of Interstate 10 and nearly adjacent to Cotton Lane (Loop 303) will allow for easy and direct access from one of Arizona's major interstates. The property is bound by W. Yuma Road on the north, Pima Street on the south, Cotton Lane (Loop 303) on the west and by Canyon Tails Unit 4 South regional open space tract on the east. (See **Exhibit A, Context Map**)

# Existing Site Conditions / Topography

The DeRosier Ranch property is relatively flat, sloping northeast to southwest with an approximately 1% grade. The majority of the site is currently being used for agricultural production with the exception of the Romans Oasis site along W. Yuma Road, the vacant DeRosier Grocery building and the original farmstead buildings.

With the exception of Romans Oasis, vacant DeRosier Grocery building/original farmstead buildings, on-site improvements are limited to irrigation and drainage improvements. (See **Exhibit C, Existing Conditions (ALTA)** 

Due to the physical location and existing commercial uses as well as being adjacent to the future Loop 303 and adjacent existing residential development in Canyon Trails the property is extremely suitable for the proposed uses and zoning districts outlined within this PAD.

# PROJECT DESCRIPTION

# THE VISION

The community design for DeRosier Ranch started with identifying a "pattern language" or a list of desired patterns that shape and define the community. The patterns are derived from the surrounding conditions, sound planning and design principles and the desire to create a community that is viable, vibrant and lives well. Streets, walks and greens were designed to relate and connect, creating a "necklace" of parks, green spaces and greenways as a haven for pedestrian activity. This network of walkways and the "corralling" of the car were identified patterns guiding development of the framework for the master plan for the overall community. The next design level was to create Pocket Neighborhoods within the overall framework, forming a scale of sociability and a self-managed community. These pocket clusters of homes share outdoor spaces, a commons framed by human scaled architecture. The patterns and design elements of these neighborhoods are rooted in place making, in creating

that sense of Home, Human Scale and Proportion, Community and Building. These patterns shaped and guided the planning process, becoming the "design tenets" for the community. The plan represented in this submittal is the culmination of the implementation of those defined patterns.

# POCKET NEIGHBORHOODS

The pocket neighborhood concept evolved from the idea of the pocket cluster of home, with a central tenet: to limited number of dwellings (6-12) gathered around a shared commons. When designing the community and a cluster became larger than 6 or 12 homes, another was formed around a separate shared commons and connected by walkways. As more clusters or pocket neighborhoods were formed, that aggregated into the community of DeRosier Ranch.

Our pattern of Human Scale dictated cars and traffic not invade the shared pedestrian space, so the car is "corralled" in lanes and drives that are connected visually and via pedestrian pathway to the commons. The active rooms of the homes, including front porches, face the commons, engaging rather than turning their back to neighbors. There is a layering of public to private space with visual cues and thoughtful use of landscape and hardscape elements, with careful placement of windows to ensure privacy for each dwelling.

Scale and Proportion set the pocket neighborhood apart from more conventional suburban neighborhoods. Rather than several hundred houses, pocket neighborhoods organize a dozen or so homes around a common element allowing and encourage neighbors to interact on a daily basis around the green courtyard or quiet pedestrian oriented street. A neighborhood within a neighborhood that is inclusive while being somewhat physically secluded.

These environs allow neighbors to more easily know one another through proximity and thoughtful design elements. The pocket neighborhood is a place where empty nesters and single householders may find friendship or a helping hand nearby. They create a place where children have a safe and connected place, both physically and socially. In a pocket neighborhood, neighbors have a stake in the common ground they share. Because of this ownership, visitors are taken note of and children are free to play.

The shared outdoor space that the homes are crafted and clustered around is a key element of a pocket neighborhood. Residents surrounding this common space take part in its care and oversight, thereby enhancing a perceived and real security as well as a shared identity. Front porches and forward living spaces are integral to the architecture and create "eyes on the green". This common space has clearly defined boundaries, beginning at the entrance from the street or lane and extending to the gates of the private yards, creating a sense of territory by anyone who enters. A visitor walking into the commons is likely to be greeted with

a friendly, "can I help you?" while a child's mother is likely to feel at ease in allowing her son or daughter to explore the "bigger world" beyond the front door. During the daily flow of life through this commons space, nearby neighbors offer 'nodding hellos', or stop for a chat on the porch. These casual conversations can eventually grow to caring relationships and a meaningful sense of community - all fostered by the simple fact of shared space.

Within the pocket neighborhoods at DeRosier Ranch, residents park their cars away from their homes in separated garages. Residents and visitors walk through the shared common area on the way to their destination. This relationship between the car door and front door greatly increases the level of interaction among neighbors and strengthens their bonds. In addition, it "corrals the car" and allows for a more aesthetic and user friendly streetscape. The short walk is not considered a hardship, even in the desert climate. The community-building benefits of the walk through the commons become an overriding element of community.

# RESIDENTIAL CHARACTER

The architectural styles within the pocket neighborhoods at DeRosier Ranch may vary. Craftsman, Cottage, Contemporary, Spanish Mission, or Modern can all be utilized, as long as the homes are oriented around the commons or towards a pedestrian friendly street. They may be detached single-family houses, individual "casitas", "live above" units that are designed above the corralled garages or attached townhouses. The key idea is a limited number of nearby neighbors gathering around a shared commons for which they all feel ownership. There is a number of design principles that make pocket neighborhoods successful listed above, but architectural style is not one of them.

# RESIDENTIAL ZONING

Due to the unique nature of the pocket neighborhood with homes fronting on open spaces, the car being corralled into privates lanes limiting and eliminating driveways on local private road and the non-traditional layout required to achieve these design principles, a Planned Area Development is necessary to create development standards that address unique site planning of the Pocket Neighborhood. DeRosier Ranch Pocket Neighborhood Residential PAD is a zoning district that creates the framework for the pocket neighborhood(s) described above to be developed. Allowing two Development Options within the "DRPNR-PAD" creates flexibility to adjust to the market place as well as changes in housing technology. One Development Option within the "DRR-PAD" District is the single family residential category "Pocket Neighborhood 1A" or "PN-1A" described in depth below and the second is "Pocket Neighborhood 2A" "PN-2A", allowing for single family attached and multi-family housing also described below. One or more of the described Development Options shall be selected at the point of or prior to subdivision plat or site plan submittal.

### **DEVELOPMENT OPTIONS**

Pocket Neighborhood 1A (PN-1A) is a single family zoning district that creates the framework for the pocket neighborhood described above to be developed. Within the "PN-1A" the primary use is single family detached housing with minimum platted lot size of 35'x70'. In addition, to the traditional single family lot there are two other product types allowed and envisioned, the "casita" unit and the live above unit or "flat". The "casita" is a unit that is a 500-700 square foot standalone one bedroom unit envisioned to be purchased by the young professional, the owner of an adjacent single family detached home, a retiree or perhaps a grandparent. The casitas are strategically placed throughout the project within open space tracts and will be platted as a condominium plat. There are also "live above" units or "flats" designed to be constructed above several of the garages. The "live above" units or "flats" are also designed to attract the young professional, couple or an owner of an adjacent single family detached home and are larger than casita envisioned to be two bedroom units and will also be platted under a condominium plat. Conceptual Design Guidelines will be submitted and approved as part of the platting and/or site plan approval process.

The Pocket Neighborhood 2A (PN-2A) Zoning District is a multi-family zoning district that creates the framework for the pocket neighborhood described above to be developed at a higher density for either for lease or for sale homes. Within the "PN-2A" the primary use is multi-family detached housing with detached units, duplex units, and lives above "flats". The units included one bedroom duplexes, two and three bedroom standalone units and one bedroom "flat" or "live-above" units designed to be constructed above the garages. All units within the PN-2A Zoning District will be approved through the site plan review process and be platted under a condominium plat. Conceptual Design Guidelines will be submitted and approved as part of the platting and/or site plan approval process.

(See Exhibit G, Conceptual Site Plan & Exhibit H, Conceptual Lot Configurations)

<u>Flexible Zoning Overlay</u> is an approximately five (5) acre zoning overlay located where the residential and commercial zoning boundaries meet. As the name suggests, the Flexible Zoning Overlay is intended to provide flexibility in the boundary of the commercial and residential zoning districts to allow for the zoning boundaries to change if necessary to respond to future detailed site planning in those specific areas. The amount of residential units and/or square feet of commercial space will not constitute the need for any additional engineering, planning or traffic studies. The amount of density and intensity in both commercial and residential uses has been accounted for in the master plan reports included with this PAD.

(See Exhibit F, Zoning Plan)

# LANDSCAPE AND OPEN SPACE CHARACTER

The Project brings a fresh concept to open space and recreation. As mentioned above, each pocket neighborhood is formed around a pedestrian friendly commons, court or street. The majority of the pocket neighborhoods that make up DeRosier Ranch have an open space commons at their core, creating the opportunity for both passive and active recreation just off the front porch of each home. The commons become an extension of the resident's front yard. The commons are all linked via pedestrian walkways with 5' walkways accessing the majority of the commons. The PAD's residential portion of the project is less than 40 acres and will meet or exceed the requirements for a residential PAD of less than 40 acres as described in this section. Landscaping shall meet the requirements of City of Goodyear Article 5-1 Landscaping Standards.

The commons open space areas, community park/recreation center and local parkways are all designed to enhance community character and quality of life by providing connectivity and recreational opportunities for residents of all ages. An emphasis is placed on concentrating open space recreation facilities within the interconnecting open space network. Common area open space represents a minimum of 15% of the residential land area meeting the PAD requirement. More important than the percentage of open space however is the connectivity and quality of the open space designed for the community open space commons, paseos and Community Park. With more than fifteen (15) "commons" open space areas serving the pocket neighborhoods of DeRosier Ranch the commitment to open space and outdoor living are illustrated clearly.

The hierarchy of public open space is provided throughout DeRosier Ranch in the form neighborhood commons, an extensive pathway network, and a the central community park as well as the linear open space on the eastern boundary and the "portal" to the Canyon Trails regional open space, path and trail system. Each of these spaces and uses offers a destination for residents and their guest and encourages ownership and social interaction. Areas utilized for drainage and retention will incorporate an informal or formal useable recreation element. Open space programming will be finalized and submitted in detail during the preliminary plat process. All open space areas will be owned and maintained by the DeRosier Ranch Homeowner's Association (HOA).

A 5' multi-use path walkway along both sides of the local residential parkway and commercial loop parkway creates a looping pathway system throughout the project. Each pocket neighborhood is linked through walkways and paths. This hierarchy of walkways provides connectivity throughout the DeRosier Ranch project, connecting residents with all land uses and encouraging an active and social lifestyle. Open space along streets has been crafted with a 6' landscape tract separating the roadway from the sidewalk creating a parkway on

the local streets. With no individual driveways the sidewalks become far more user friendly and safer for residents.

There is a ten (10) foot decomposed granite multi-use trail that parallels the regional open space corridor to the east with multiple connections to the community and the regional open space. At the heart of the community is a community center and large community commons for all of the residents to enjoy, recreate and gather in for community events.

(See Exhibit K, Conceptual Open Space Plan)

# Neighborhood Commons

Numerous neighborhood commons varying in sizes are planned, serving as neighborhood cores for the pocket neighborhoods. All residents are located within a quarter of a mile or a three (3) to five (5) minute walk from the central park and community-recreation center, allowing for great walkable pocket neighborhoods. The neighborhood commons are designed to provide both active and passive recreational activities. (See Exhibit I, Conceptual Neighborhood Commons Plan & Exhibit J, Conceptual Neighborhood Commons Section) These parks will provide opportunities for people of all ages with appropriately scaled amenities as well as shaded areas in each park.

# **Community Park**

The community park is intended to serve as a draw for the entire DeRosier Ranch community and is strategically located near the center of the community and adjacent to the community and recreation center. The proposed plan utilizes the larger scale central park as a unifying element within the community as well as, providing a civic core and central amenity. The community central park will be a social gathering spot for community events as well as a community destination. (See Exhibit L, Conceptual Community Park & Recreation Plan)

# Landscape Theme

The landscape theme for DeRosier Ranch is designed to create an attractive and functional environment of shade, color and texture throughout the community. The design intent of the landscape is to utilize a variety of low water use trees, shrubs and groundcovers that will provide shade, visual interest, buffering and aesthetic values to the project. Careful selection and massing of trees, shrubs, groundcovers, turf and accent plants will provide a colorful and appropriate landscape for the community. The parkways along the local streets allow a more formal street tree program and theme at DeRosier Ranch. (See Exhibit M, Conceptual Overall Landscape Plan)

# <u>Walls</u>

The walls and monuments designed for DeRosier Ranch will unify the overall project theme through the consistent use of materials and simple detailing. The location of theme and view

walls will be consistent the quality of DeRosier Ranch. Theme walls will be provided along W. Yuma Road, Pima Street and the eastern boundary abutting the Canyon Trails regional open space, as well as adjacent to highly visible open space and amenity areas. Theme walls will be made of integral color or painted split face CMU block in a running bond pattern with a cmu wafer cap. (See **Exhibit N**, **Conceptual Walls**)

View fence will be provided adjacent to open space areas and along rear/side property lines, where appropriate. The view walls and columns will be constructed and finished with materials consistent with the character of the theme walls and will meet all pool code regulations. All walls will conform to the City of Goodyear Zoning Code.

Neighborhood Walls, which complement the theme wall, will be utilized throughout the project where a theme wall or view wall are not appropriate. Neighborhood walls will be used at the end of blocks where a landscape tract separates the lot from the local roadway and where lots back or side directly on the DeRosier Ranch property line.

# **Monuments**

Primary entry signs/monuments at DeRosier Ranch will be located along W. Yuma Road in the north and on Pima Street in the south. The primary entries will be located at a few strategic perimeter locations to announce the arrival into the DeRosier Ranch. Primary entries are proposed for the intersection of W. Yuma Road and Pima Street. The exact locations of the signs will be determined as part of the preliminary plat or site plan approval stage.

(See Exhibit O, Conceptual Monuments)

# COMMERCIAL CHARACTER

DeRosier Ranch Commercial PAD "DRC-PAD" development will provide services for DeRosier Ranch residents as well as the surrounding area. Located in strategic positions along the arterial frontage of W. Yuma Road and as a transition into the project along the "commercial loop" intersecting with W. Yuma Road, the commercial development at DeRosier Ranch takes advantage of higher projected traffic counts and regional traffic from the Future Loop 303. The proposed commercial parcels are in the same general location as they were in the approved Canyon Trails Phase 2 PAD however; parcel configurations and acreages have been changed to accommodate the revised master plan and the addition of the 5.91 acres of "AU" while still totaling the previously approved 14 acres of commercial. The parcels have also been revised to stretch along the arterial rather than deeper into the community, allowing for better access and visibility of the commercial parcels.

The commercial uses will share in the overall design theme of DeRosier Ranch and will be integral in shaping the development as a cohesive master planned community. However,

these more intense uses will also be buffered from single family and multi-family residential with open space setbacks and pedestrian links. The commercial uses have been designed to integrate with walkway systems and allow residents safe, non-vehicular routes to neighborhood services. The commercial parcels on the south side of the commercial loop road are pedestrian and "main street" scale and are anchored by the DeRosier Ranch Community Center. (See Exhibit P, Conceptual Commercial Site Plan & Exhibit Q, Conceptual Portal)

# INFRASTRUCTURE / UTILITIES/PUBLIC FACILITES

# Vehicular Access and Circulation

DeRosier Ranch is planned to be constructed in several phases. The traffic impact analysis, referenced later in this section and submitted under separate cover, has analyzed the impacts of the major phases which will include initial build conditions, interim conditions, and final build out including improvements to W. Yuma Road. Access into the DeRosier Ranch community is designed with minimum vehicular penetration points in order to safely and conveniently move residential traffic into and out of the development while discouraging non-neighborhood through-traffic. (See **Exhibit R Circulation Plan**).

Street design and how the automobile is addressed within DeRosier Ranch are extremely important. As mentioned above, key to the development and livability of the DeRosier Ranch master planned community pocket neighborhood concept is the pedestrian environment, Human scale and creating a more "complete street". As such, this request creates a new local street section for use at DeRosier Ranch, maintaining the functionality and design dimension for pavement and curb while providing for on-street parking and protecting the pedestrian. The updated section expands the landscape tracts from back of curb to sidewalk 6', separating the pedestrian and the home from the automobile. Chicanes are also utilized at intersection corners to provide safer crossing for pedestrians and parking for on street parking as well as to enhance the parkway aesthetic. Due to the walkable size and scale of the project, all roadways within DeRosier Ranch are "local" streets with landscape separated walkway and on-street parking to calm traffic. Garages do not front or access the local street network and connection to the street network are functional but limited in order to create a seamless and aesthetically pleasing street scene. Neighborhood lanes serve to coral the automobile and provide vehicular access to the neighborhood. (See Exhibit S Proposed Street Section)

# Preliminary Grading and Drainage

The analysis done for onsite storm water runoff is designed to conform to Chapter 3 of the City of Goodyear Engineering Design Standards and Policies Manual, The Drainage Design Manual for Maricopa County, Arizona, Hydrology, and The Drainage Design Manual for Maricopa County, Arizona, Hydraulics.

DeRosier Ranch is currently comprised of an agricultural field, which retains itself. There is an existing Roosevelt Irrigation District Lateral, which runs along the northwest portion of the site and continues south to split the site in half from North to South. There are no delineated floodplains or offsite watersheds that affect the site.

The off-site flow from the north of DeRosier Ranch is intercepted by the Canyon Trails Towne Center at the northeast quarter of Yuma Road and Cotton Lane, located directly north of the Site and is directed away from the site utilizing on-site retention. The south half-street of Yuma Road is accounted for on the DeRosier Ranch Site, which will retain the 100-year 6-hour rainfall on-site. The Canyon Trails Unit 4 South Drainage Channel intercepts the off-site flow from the east of the Site. The drainage channel will not be affected by the DeRosier Ranch development, and no flow will be added. The off-site flow from the west of the site is intercepted by Cotton Lane and the Loop 303 Outfall Channel which will carry the flow south past our site. The half street of Cotton Lane that flows toward DeRosier Ranch will be retained within the future Loop 303 right-of-way, which is set aside for the future 303 expansion.

Onsite streets are designed to convey the 10-year peak storm within the curbs and the 100-year peak storm within the right-of-way. For local streets, these requirements are met with 4-inch roll curb or 6-inch vertical curb. Inlets will be sized to convey the 10-year runoff from the streets to underground storage. Underground Stormwater Storage Facilities shall provide retention for the 100-yr 6-hr storm event. A runoff coefficient of 0.84 was used for the site in order to calculate the required retention volume. Rainfall was obtained from NOAA Atlas 14 and is 2.54-inches for the DeRosier Ranch development.

All retention will be drained within a 36-hour period via drywells using a maximum percolation rate of 0.25 cfs per drywell.

(See Preliminary Drainage Report submitted under separate cover)

# Water Service

The design criteria used for the DeRosier Ranch water system is outlined in Chapter 5 of the City of Goodyear Engineering Design Standards and Policies Manual, the Arizona Administration Code (AAC), the Maricopa County Environmental Services Department (MCESD), and the Arizona Department of Environmental Quality (ADEQ).

DeRosier Ranch will be serviced by an 8-inch PVC public water line as well as service connections from the distribution main to the meter to service each lot, unit, or commercial portion of the site.

The water demand for DeRosier Ranch is split into three portions; the residential (25.30 acres), the multi-family (10.13 acres), and the community commercial portion (10.08 acres) of the site. For the residential portion of the site a water demand factor of 320 gallons-per-day-per-unit (4-6 dwelling-units-per-acre) was used for average day demand. For the multi-family portions of the site, a water demand factor of 285 gallons-per-day-per-unit (6-10 dwelling-units-per-acre) was used for average day water demand. For the community commercial portion of the site, a water demand factor of 2033 gallons-per-day-per-acre was used for average day water demand.

By applying these factors for average day to the site characteristics, a water demand in gallons-per-day was found. To determine the maximum day water demand, the average day demand was multiplied by a factor of 1.7. To determine the peak hour demand, the average day demand was multiplied by a factor of 2.9. The water system has been designed to satisfy the fire flow requirements of 3,500 gallons-per-minute for commercial and multi-family residential properties and 1,500 gallons-per-minute for 1 and 2 family dwelling unit residential properties. This will be done while maintaining a residual pressure of 20 psi over the span of 2-hours.

An existing 24" water distribution main is located in Yuma Road and an existing 12" water line is located in Pima Street. These water lines will provide a looped redundant connection for the DeRosier Ranch development.

A detailed analysis was done to ensure the water demand requirements are met during the average day, maximum day and peak hour demands. The demand requirements are met while maintaining a system pressure between 40 psi and 100 psi. The fire flow requirements were also analyzed and sufficient water and pressure will be provided (See **Preliminary Water Report** submitted under separate cover)

# Sanitary Sewer Service

The design criteria used for the DeRosier Ranch sewer system follows the requirements outlined in Chapter 6 of the City of Goodyear Engineering Design Standards and Policies Manual, The Arizona Administrative Code, Title 18, Chapter 9, The Maricopa County Environmental Health Code, and Arizona Department of Environmental Quality, Bulletin No. 11.

DeRosier Ranch will be serviced by an 8-inch PVC public sewer line as well as 6-inch sewer taps which will service each lot, unit, or commercial portion of the site. A d/D ratio of 0.65 was used in the development of the sewer system to ensure capacity and account for peak wastewater generation. All gravity sewer lines have been designed to maintain a minimum velocity of 2 feet-per-second but not to exceed 9 feet-per-second. All manholes within the development will be a minimum of 60-inches

The wastewater generation for DeRosier Ranch is split into three portions: the residential (25.30 acres), the multi-family (10.13 acres), and the community commercial portion (10.08 acres) of the site. For the residential portion of the site a factor of 129 gallons-per-day-per-unit (4-6 dwelling-units-per-acre) was used for average day generation. For the multi-family portions of the site, a factor of 128 gallons-per-day-per-unit (6-10 dwelling-units-per-acre) was used for average day generation. For the community commercial portion of the site, a factor of 951 gallons-per-acre-per-day was used.

The City of Goodyear requires a peak flow of 1,000 gallons-per-day-per-unit for all residential units flowing to sewer lines between 8 inches and 12 inches in diameter. A commercial peaking factor of 2.89 was applied to the commercial flows.

Sewer collection lines have been constructed to serve the adjacent Canyon Trails Unit 4 South development to the south. The offsite lines have been sized to accommodate the flows coming from DeRosier Ranch. DeRosier Ranch will tie into the existing 8-inch stub located within Pima Street from Canyon Trails Unit 4 South. The surrounding Canyon Trails Master Plan Community sewer is owned and operated by the City of Goodyear.

The wastewater flow from DeRosier Ranch will flow through an 8-inch line before it enters into an upsized 15-inch line near the intersection of Canyon Trails Boulevard and Durango Street. From there, the wastewater will flow southwest to Lower Buckeye Road where it will enter the 36-inch sewer main located in Cotton Lane.

An existing 8-inch sewer line is located in Yuma Road north of the site. Pending the development schedule of the project, a portion of the commercial development may drain into this existing sewer line.

Per Supplement 1 of the West Goodyear Central Planning Area Master Wastewater Study Update the DeRosier Ranch development wastewater generation is accounted for and flow will be carried southeast to the existing Wastewater Treatment Plant located near Estrella Pkwy and the Buckeye Canal.

(See **Preliminary Sewer Report** submitted under separate cover)

# Traffic Impact Analysis

The proposed DeRosier Ranch development has three phases of planned residential and retail located south of Yuma Road between Cotton Lane and Canyon Trails Boulevard in Goodyear, Arizona. The development will consist of three (3) phases with a buildout of 133 single-family detached homes, 93 multifamily housing, and 56,618 SF of shopping center. There are six (6) access points into the site, with four (4) located on Yuma Road and the other two (2) on Pima Street.

CivTech, Inc. has been retained by Sandbox Development Consultants, Inc. to perform the traffic impact analysis for the proposed DeRosier Ranch development during the planning process to determine necessary roadway improvements for the successful completion of the project.

# **Existing Conditions**

The results of the existing conditions analysis summarized in Table 2 (within the TIA submitted under separate cover) indicate that all intersection approaches operate at an acceptable LOS of D or better with the exception of the westbound left-turn approach on Cotton Lane and Pima Road in the PM peak hour.

Future Roadway Improvements (Capital Improvement Projects)

Upon review of the City of Goodyear Transportation Capital Improvement Projects, there are additional improvements proposed by the City within the study area. There is funding to widen roadway to include two through lanes eastbound on Yuma Road between Cotton Lane and Sarival Avenue. Based on the terms of the repayment agreement between the City of Goodyear and the developer, the developer will fund and make these.

# Opening Year 2019 & Horizon Year 2024

The results of the opening year 2019 and horizon year 2024 Synchro analysis summarized in Table 6 (within the TIA submitted under separate cover) indicate all study intersections should operate with LOS of D or better, with the exception of Cotton Lane and Pima Street in the westbound left-turn approach during the PM peak hour.

The existing traffic in the westbound left-turn approach on Cotton Lane and Pima Street is anticipated to experience delay in the PM peak hour. In the no build scenarios, the intersection is anticipated to experience a maximum delay in the westbound left-turn approach of 50.3 seconds for the PM peak hour. In the build scenarios, the intersection is anticipated to experience a maximum delay in the westbound left-turn approach of 57.8 seconds for the PM peak hour.

Poor levels of service during peak hours are not uncommon on side street approaches to major arterial roadways. The expected increase in traffic

volumes along Cotton Lane would decrease the number of acceptable gaps in traffic for left-turns coming out from the side street (Pima Street). This could increase delay to these movements resulting in a poor LOS during peak hours; however, it is expected that these movements will operate at acceptable LOS during non-peak hours.

# Queue Storage

A dedicated right-turn is not warranted per MCDOT standards at Access A, B, D, E, and F. However, Access C met three of the four criteria for Condition B warranting a right-turn deceleration lane.

# Sight Distance

It is recommended that sight triangles be designed at all site access driveways to provide at least the required sight distance.

(See Traffic Impact Analysis submitted under separate cover)

# **Utility Providers**

Electrical Service:

The subject property is within the service area of APS.

# Natural Gas Service:

The subject property is within the service area of Southwest Gas Corporation.

# Telephone Service:

The subject property is within the service area of Century Link and Cox Communications.

# Cable Service:

The subject property is within the service area of Century Link and Cox Communications.

# Fire Protection:

The subject property is within the service area of The City of Goodyear Fire Department.

### Police:

The City of Goodyear Police Department will provide law enforcement and protection services for DeRosier Ranch.

# Schools and School Impact Analysis

DeRosier Ranch was originally entitled as part of the Canyon Trails Phase 2 PAD and as part of that entitlement no school site was identified for this site. As part of this entitlement DeRosier Ranch is not increasing student demand from the previous entitlement and as such no school sites are proposed in the project. Below are the student generation calculations.

STUDENT GENERATION CALCULATIONS					
Column A	Column B	Column C	Column D		
School Type	No. of Res. Units	Student Ratio	No. of Students		
AVONDALE ELEMENTARY SCHOOL DISTRICT NO. 44	226	0.3	68		
AGUA FRIA UNION HIGH SCHOOL DISTRICT NO. 216	226	0.19	43		
Total	226		111		

DeRosier Ranch students will be served by the Avondale Elementary School District, No. 44 Copper Trails Elementary School located at 16875 W. Canyon Trails Blvd. (approximately ½ mile from the site via pedestrian path way and one mile via street system) and Agua Fria Union High School District No. 216 Desert Edge High School (less than a mile and a half east on W. Yuma Road from the project.

# **DEVELOPMENT SCHEDULE**

The DeRosier Ranch Master Plan will be developed in phases as market conditions dictate. It is anticipated that the phasing pattern will generally progress from W.Yuma Road on the north boundary of the site and from Pima Street in the south simultaneously. One or more phases, and or a portion of a phase, may be developed simultaneously and phases are not required to be developed in sequential order. All phasing is conceptual and will have the ability to be amended administratively. Spine infrastructure systems not adjacent to development phases may need to be built to provide appropriate service levels, continuity or capacity.

The parcel configuration allows for efficient phasing of the development, allowing each subdivision to be developed independent of each other. Each phase of DeRosier Ranch will offer a variety of product types and common area open space amenities. In addition to the primary infrastructure, construction of the initial phase will include a model home complex and portion of the community park. The ultimate phasing plan and timing of development will be established with the City Engineer.

The development of the commercial parcels will occur when local market conditions attract those commercial users. (See **Exhibit T Conceptual Phasing Plan**)

# **CONCLUSION**

DeRosier Ranch is committed to offering an exceptional master planned community development with a series of Pocket Neighborhoods that will provide a variety of housing types, recreational opportunities, and commercial services. The overall master plan offers a mixture of land uses designed purposely to enhance a family lifestyle and reinforce the "neighborhood" concept.

Urban Fabric requests approval of this Planned Area Development in order to continue to further plan and develop DeRosier Ranch as a premiere community that will respond to the existing and future needs of the City of Goodyear.

# **APPENDIX - A**

# APPENDIX A: City of Goodyear General Plan - "Goodyear 2025" Conformance

The DeRosier Ranch Planned Area Development meets the intent and is in general conformance with the City of Goodyear's General Plan "Goodyear 2025". The DeRosier Ranch project has two distinct land use designations as defined by the updated General Plan, Neighborhood and Business & Commerce. The two land use categories were instrumental in the shaping of the master plan for DeRosier Ranch and are defined below.

# Neighborhoods

Provides areas for the growth and development of neighborhoods. Neighborhoods include a wide range of densities and housing products, public and community facilities such as schools and places of worship, and commercial uses at appropriate intensities and locations.

### **Business & Commerce**

The Business & Commerce category provides areas for the growth and development of Goodyear's economic base including large areas for shopping and entertainment. This category includes uses such as community level retail, entertainment, service oriented businesses that are regionally significant (typically serving a trade area of 5-10 miles or larger). Business & Commerce includes uses such as, but not limited to, business parks, offices, warehouses, regional hospitals, high density residential that supports the area, and other light industrial uses that are also appropriate in certain areas. This category may also include public & community facilities

As part of the City of Goodyear's General Plan "Goodyear 2025" Chapter 8 – Land Use And Transportation Plan clearly defined "Development Standards" are set forth. Below is Universal Standards 1 through 10 as well as the specific Development Standards that are defined for "Neighborhoods" and "Business & Commerce" and a detail illustration for how DeRosier Ranch is in conformance with and/or meets the intent of said Development Standards.

# Universal Development Standards

The following Development Standards address development in any of the land use categories:

### Standard 1.

All development proposal shall demonstrate their conformance with the applicable stated goals, objectives, and policies contained within the General Plan, and how the development furthers the appropriate implementation of the General Plan.

Objective CC-5-1. Establish a land use hierarchy and community form that maintains a broad variety of land uses and responds to the community's vision and needs. DeRosier Ranch being zoned and developed under the Policies:

- a) Allow flexibility and creativity in the development process while still protecting existing residents and businesses from incompatible land uses and preserving and enhancing Goodyear's existing character.
  - DeRosier Ranch being zoned and developed under the Planned Area Zoning and creating a zoning category for "Pocket Neighborhoods" will foster a flexible and creative development process for the Project while maintaining and enhancing the established character of the City of Goodyear, Canyon Trails and the community at large. The rezoning and subsequent development of the project will not only protect existing businesses but will enhance and update the existing Romans Oasis, allowing it to be relocated and updated with the development of the project and expansion of W. Yuma Road.
- b) Provide for and encourage a wide variety of housing products to suit the needs of existing and future residents.
  - DeRosier Ranch will be developed with a variety of housing types and styles including both for sale single family detached homes, "live above" residential units that are above garages, "casitas" that will small intimate homes for singles, guest houses or retired peoples. The project will also have rental homes that include single family structures as well as live above units and duplexes. Both for sale homes and for rental homes are organized around the "pocket neighborhood concept with front porches fronting open space "commons" or tree lined parkway.
- c) Development within large master planned communities should:
  - Allow for greater flexibility since the area is being master planned,
  - Include trails, open space, and internal and external connectivity,
  - Include an integrated lifestyle.

DeRosier Ranch is a 45 acre master planned community consisting of commercial uses along W. Yuma Road and a variety of residential uses organized around the "pocket neighborhood" creating a mixed use master planned community. The open space and pedestrian walkway systems are integrated providing internal and external links to the proposed and existing uses including Romans Oasis, Canyon Trails Towne Center and Canyon Trail's regional path and trail system.

Objective CC-5-2. Integrate land use planning with transportation planning to establish a fiscally sustainable, environmentally sustainable, and healthy community.

### Policies:

a) Provide a wide range of housing opportunities in areas within walking distance to transit stations.

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Homes at DeRosier Ranch are less than a quarter mile from the Transit Station on W. Yuma Road.

b) Promote the development of compact walkable neighborhoods within the vicinity of existing and planned transit routes.

Each compact and walkable "pocket neighborhood" at DeRosier Ranch is less than a quarter mile from the Transit Station on W. Yuma Road.

Objective GD-3-1. Establish and maintain a well-functioning roadway network.

# Policies:

- a) Implement the goals, standards, plans, and policies identified in the adopted Transportation Master Plan.
- b) Utilize the adopted street cross- sections and standards as included in the Engineering Design Guidelines and Policy Manual.
- c) Preserve right-of-way for interstates and highways as designated in the Transportation Master Plan.
- d) Utilize the roadway construction standards produced by MAG. DeRosier Ranch will be instrumental in the expansion and enhancement of W. Yuma Road to MAG standard for an Arterial ROW. The local roads within the Project meet or exceed the adopted street cross-sections and standards creating more "complete streets".

### Action Items:

a) Review the adopted cross-sections to ensure they promote the principals of "complete streets" and amend them as necessary.

DeRoiser Ranch local street sections institute the principles of complete streets including bike lanes, chicanes to protect pedestrians at cross walks and landscape separated sidewalks. In addition, the pocket neighborhood "corrals the car" so no single family home driveways are located on the local streets, making for a far more pedestrian friendly "complete street" as being explored and implemented by MAG.

Objective GD-7-3. Ensure the built (i.e., man-made) environment fosters safety.

# Policies:

a) Promote safety through neighborhood design through measures such as, but not limited to, lighting and traffic calming.

DeRoiser Ranch local street sections institute the principles of complete streets including bike lanes, chicanes to protect pedestrians at cross walks and landscape separated sidewalks. In addition, the pocket neighborhood "corrals the car" so no single family home driveways are located on the local streets,

making for a far more pedestrian friendly "complete street" while providing traffic calming.

- b) Site public safety facilities near community parks when possible to keep a constant City presence near these facilities.
- c) Ensure that residents can walk and bike safely through the community by creating separated bike lanes along most-used routes, creating well- marked cross-walks, and similar measures.
  - DeRoiser Ranch local street sections institute the principles of complete streets including bike lanes, chicanes to protect pedestrians at cross walks and landscape separated sidewalks. In addition, the pocket neighborhood "corrals the car" so no single family home driveways are located on the local streets, making for a far more pedestrian friendly "complete street".
- d) Well-kept neighborhoods are generally thought of as safer. Promote home maintenance, code compliance, city maintenance, and neighborhood cleanups to keep a clean and safe environment
  - Pocket Neighborhoods are both better kept and safer than conventional single family subdivisions. With the car corralled in with lanes and homes with front porches and living spaces designed for living to the front of the homes, fronting the parkway or "commons", the "eyes on the green" concept creates a sense of ownership and protectiveness that fosters stewardship of the neighborhood itself.

Objective GD-7-4. Encourage resident led safety.

# **Policies**

- d) A strong sense of community fosters a safe environment where residents watch out for each other. Promote this type of environment by:
  - Encourage home design, such as front porches, that promotes
  - residents to be out on the street.
  - Ensure parks and neighborhood facilities are well-lit and promote safety.
  - Encourage community pride and a sense of cohesiveness.
  - Encourage community and neighborhood events that allow neighbors to get to know each other.

The homes at DeRosier Ranch are all designed with front porches engaging the local parkway or open space Commons. With the car corralled and homes with front porches and living spaces designed for living to the front of the homes,

fronting the parkway or commons, the "eyes on the green" concept creates a sense of ownership and protectiveness that fosters stewardship of the neighborhood and community.

Objective GD-9-1. Promote the efficient use of energy.

Urban Fabric Builders are committed to livability, high performance homes, and community. The homes at DeRosier Ranch will be "Zero Energy Ready" and will be equipped with roof mounted solar panels and built with technology to reduce energy use.

Objective GD-9-2. Foster green building practices.

# Policies:

- a) Require new city buildings to be Leadership in Energy and Environmental Design (LEED) certified when practical (e.g., some facilities such as fleet facilities are not practical to be built to LEED specifications).
- b) Recognize developers and businesses that build LEED certified buildings, homes, and neighborhoods.

While Urban Fabric Builders will not be seeking LEED certified buildings at DeRosier Ranch, they are committed to livability, high performance homes, and community. The homes at DeRosier Ranch will be "Zero Energy Ready" and will be equipped with roof mounted solar panels, built with technology to reduce energy use and green building materials and practices.

Objective CC-1-1. Create and foster complete neighborhoods.

DeRosier Ranch and the "pocket neighborhood" concept is truly a "complete neighborhood". The project will provide a range of housing options and types both for sale single family homes as well as for lease neighborhoods. All the homes within the project are within a quarter mile of all the internal destinations and have sidewalks and/or bike lanes that allow access to the each park amenity including the Community Center and too all commercial uses within the project. In addition, the walk and trail system connects to the Canyon Trails regional trail system on the east side of the project. The "commons" open space are at the core of each pocket neighborhood creating a focal point, a place for social interaction and a sense of community for the residents. The sidewalks are ADA compliant accommodating and promoting "aging in place" and "aging in family" in each neighborhood. The "eyes on the Green" design also creates a sense of place and pride for each grouping of homes and the community at large.

# Objective CC-1-2. Ensure neighborhoods are internally and externally connected.

- a) Include shared-use sidewalks or trails within neighborhoods that maximize internal walkability and provide connections to trail systems, schools, shopping, existing developments, and parks.
- b) Provide bike paths and bike lanes where possible to increase connectivity.
- c) Promote walking and bicycling through neighborhood design (e.g., shaded sidewalks, traffic calming, safe pedestrian crossings)
- d) Encourage children to walk to school by locating elementary schools at the center of the neighborhood, and providing connections to schools outside of the neighborhood that are used by neighborhood residents, such as paved paths and unpaved trails and creating walking school buses.
- e) Provide publicly accessible paved paths and unpaved trails, connected to neighborhood parks and open spaces and to City and regional paths and trails.
- f) Provide pedestrian and bicycle linkages to neighborhood commercial centers.
- g) Provide pedestrian and bicycle linkages to existing and future transit stops.

The local roads in DeRosier Ranch are designed to be built as "complete streets". They incorporate bike lanes, chicanes and landscape separated sidewalks. In addition, the "pocket neighborhood" community concept "corrals the car" in lanes that eliminate individual private residential driveways from accessing the local public streets, providing long stretches of uninterrupted tree lines sidewalks. Allowing pedestrians and to move safely and comfortably through DeRosier Ranch.

Objective CC-1-3. Foster the creation and maintenance of attractive, high quality neighborhoods.

### Policies:

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- a) Encourage the use of regionally appropriate, attractive, and diverse architecture and landscape treatments.
- b) Encourage and promote the creation of neighborhood gardens on City and privately owned land.
- c) Promote public/private partnerships to address neighborhood maintenance, communication between the City and neighborhood, and problem solving.

DeRosier Ranch will be regionally appropriate, attractive, and diverse architecture and landscape treatments throughout the Pocket Neighborhoods, commercial development and the community at large. The commons areas framed with front porches providing shade and shadow and a use of drought tolerance but lush landscape that provides color and contrast in the desert environment.

Objective CC-1-5. Promote neighborhood identity within a shared City culture and bring neighborhoods together.

# Policies:

- a) Use style, architectural design, form, and landscape treatments to create unique identities within neighborhoods.
- b) Encourage City-wide community spirit by supporting existing and new City- wide events.
- c) Link neighborhoods together through publicly accessible and private, public use paths, greenways, trails, and open space.
- d) Establish neighborhood gateways and connect residential neighborhoods through design elements such as street tree theming.

DeRosier Ranch's pocket neighborhoods are designed to be unique and foster "community identity". In addition, DeRosier Ranch's use of the historic DeRosier Grocery façade as a portal into the community from the regional open space, the use of theme elements along W. Yuma Road and throughout the community, and the landscaped and street tree themed parkways make it unique and signature community in Goodyear.

Objective CC-2-1. Provide diverse and quality housing products.

# Policies:

- a) Encourage a mix of quality and compatible housing types consistent with market trends and demand that adequately meets the needs of current and prospective residents and workers.
- b) Encourage mixed-use development, especially near transit stations.
- c) Promote higher residential densities near and within the City Center, along the McDowell Road/Interstate 10 commercial corridor, the future Loop 303 corridor south of I-10, and near transit stations.

DeRoiser Ranch will be providing housing types based on the latest marketing studies while being root in sound fundamentals and architectural styles. The project will provide both high quality for sale single family homes, "live above" residences and detached casitas for single young and old. In addition, near the Loop 303, rental homes are planned. All of these elements and DeRosier Ranch will meet a broad spectrum of Goodyear's housing needs in varied price points and demographics.

Objective CC-2-3. Advance the concept that every person should have access to safe and affordable housing.

# Policies:

a) Promote the principals of fair housing.

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- b) Locate special needs housing (e.g., senior housing or assisted living) near needed support services and transit stations.
- c) Partner with developers to integrate affordable housing into large master planned communities.
- d) Promote the equitable distribution of housing types throughout the City (e.g., multi-family, single family, assisted living).

DeRoiser Ranch will be providing housing types based on the latest marketing studies while being root in sound fundamentals and architectural styles. The project will provide both high quality for sale single family homes, "live above" residences and detached casitas for single young and old. In addition, near the Loop 303, rental homes are planned. All of these elements and DeRosier Ranch will meet a broad spectrum of Goodyear's housing needs in varied price points and demographics.

Parks, Recreation, and OpenSpace Goal CC-3

A parks, trails, open spaces, and recreation facilities system that is regionally and locally linked and accessible, that serves existing and future residents and contributes to the community's social, economic, and environmental quality.

Expanding the parks and recreation system was one of the most frequent comments received during the creation of the General Plan and the development of the Parks, Recreation, Trails and Open Space Master Plan. As a family-oriented community, parks and recreation is a crucial component of a successful community. Parks, trails, and open spaces are an integral part of our neighborhoods and creating a unique sense of place. Goodyear recognizes that parks, trails and open spaces will play a critical role in developing the vision of Goodyear and ensuring it is a place where people want to live, work, raise a family, or start a business.

Objective CC-3-1. Develop parks and recreation facilities in support of programs and events desired by city residents, that support economic development and that promote neighborhood identity and quality of life.

### Policies:

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- a) The City shall utilize the park standards and guidelines as identified in the adopted Parks, Recreation, Trails, and Open Space Master Plan.
- b) Consider heat and shade when designing parks and facilities.
- c) In the Scenic Neighborhoods land use category, parks and open spaces primarily should:
  - Preserve the native landscape,
  - Be designed and built to enhance the natural beauty of the scenic environment, and
  - Include facilities and areas that provide opportunities for environmental education.

- d) In the Neighborhoods land use category, parks and open spaces primarily should:
  - Be a focal point of the neighborhood,
  - Contribute to a sense of place,
  - Be a place where children can safely play,
  - Provide opportunities for social interaction,
  - Locate parks to integrate neighborhoods, so that residents of different neighborhoods can meet and socialize, and
  - Provide appropriate connections between residential and commercial areas by consolidating open spaces in different land uses to create larger areas (e.g. a neighborhood park and required commercial buffer could be located near each other to create larger open space).
  - All residences shall be located within a ¼ mile of a public or private neighborhood park.
    - The pocket neighborhood concept and the applied design of that concept at DeRosier Ranch meet or exceed every bullet point within "d". All homes within DeRosier Ranch are within a ¼ mile of a community park and recreation center, all homes are on a landscape parkway with a walkway system unbroken by individual driveways or on open space commons provided safe play and social interaction as well as each residential neighborhood adjacent commercial uses having integrated walkways and open space systems.
- e) In the Business and Commerce land use category, parks and open spaces primarily should:
  - Provide plazas for public use integral to the development,
  - Contribute to a sense of place,
  - Provide areas to house public and private events such as farmer's markets, fairs, art events, and festivals that attract visitors who contribute to the City's economy.

The commercial design concepts at DeRosier Ranch are designed to create a pedestrian scale environment and create a sense of place.

# Standard 2.

While Goodyear encourages quality development throughout the planning area, growth and redevelopment is highly encouraged to locate in areas with existing infrastructure and services, in the City's Redevelopment Area (see Figure 5.7), within walking distance of transit stations, and along existing interstate/freeways.

As an "infill" project in the heart of the Canyon Trails Master Planned Community, DeRosier Ranch is adjacent the existing infrastructure. Included in that infrastructure is W. Yuma Road (the developed state of which will be improved and enhanced with the development of DeRosier Ranch), Pima Street and the Future Loop 303

# Standard 3.

New developments shall demonstrate that there are adequate services and facilities, or plans to provide the necessary services and facilities, to serve the development during the development approval process.

The services and facilities for DeRosier Ranch were planned for as part of the Canyon Trails Phase 2 PAD and the subsequent development of that project. DeRosier Ranch will continue in the development of those services and facilities meeting or exceeding the City of Goodyear requirements.

### Standard 4.

Goodyear promotes a graduated density/intensity concept. Developments with similar densities should locate near each other, gradually increasing density towards village centers, the City Center, or transit corridors and lowering density near protected uses (such as a natural feature). Developments with similar intensities (e.g., building height, building bulk or intensity of use) should locate near each other gradually increasing intensity towards transit corridors, the City Center, industrial development, and commercial centers and decreasing intensity towards residential developments.

DeRosier Ranch is designed with commercial along W. Yuma Road and the Future Loop 303 as well as higher density along the Future Loop 303 as well. The higher density is designed at a "residential scale" and designed with "pocket neighborhood" principles with increased community and open space as well as separated from lower density single family residential by a tree lined "complete street" and integrated through open space and pedestrian connections. The single family homes are separated by open space buffers that are engaged with pedestrian portals to the commercial as well.

### Standard 5.

Goodyear promotes a safe walkable and bikeable community. Each development should be located and designed to reduce vehicle trips and miles whenever possible. Pedestrian and bicycle connections shall be provided between and within developments to allow the community to walk or bike to nearby destinations.

DeRosier Ranch has created a local street section with landscape separated sidewalks, on street parking with chicanes and parking lanes to "corral" the car making it safer for pedestrians and cyclist alike. Through the corralling of the car there are no individual driveways accessing the local streets create safer and unbroken stretches of tree lined sidewalks. In addition, the path and trail system at DeRosier Ranch provides a portal to the Canyon Trails regional north/south trail system adjacent the eastern property boundary.

# Standard 6.

Required open spaces for adjoining developments should be combined where practical to create larger areas of open space beneficial to the developments and the community. The path and trail system at DeRosier Ranch provides a portal to the Canyon Trails regional north/south trail system adjacent the eastern property boundary. All other development open space in the area is separated by roadways.

### Standard 7.

Land uses should be located to protect significant natural resources including the Sierra Estrella Mountains and foothills, the Gila River, the Sonoran Desert National Monument, and Waterman Wash. These uses should be protected from encroachment and environmental contaminants. Protection would include locating lower density residential and lower intensity non-residential uses nearby, providing additional adjacent open space, or other measures as appropriate. **N/A** 

# Standard 8.

New residential uses shall not be approved within the 65 DNL (Day-night Noise Level) or greater noise contours and the accident potential zones surrounding Luke Air Force Base. New residential uses within the 65 DNL or greater noise contours surrounding Phoenix-Goodyear Airport shall require additional review and noise attenuation.

DeRosier Ranch is several miles from the 65 DNL contours and as such is not impacted.

### Standard 9.

Residential densities over 2 dwelling units per acre are discouraged from locating within  $\frac{1}{2}$  mile of the 65 DNL noise contour lines of Luke Air Force Base and densities should be graduated away from the 65 DNL contour lines.

DeRosier Ranch is several miles from the 65 DNL contours and as such is not impacted.

# Standard 10.

Notification and disclosure statements are required for any residential development within the Luke Air Force Base "Vicinity Box", as amended, consistent with the Western Maricopa/Luke Air Force Base County Regional Compatibility Plan, March

2003. DeRosier Ranch is several miles from the 65 DNL contours and as such is not impacted.

# Neighborhoods Development Standards:

### Standard 26.

<u>Medium Density Residential.</u> Residential uses with densities greater than 5 dwelling units per acre up to 12 dwelling units per acre, may be considered along arterial roads, adjacent to commercial areas, adjacent to community and regional parks or significant open space areas, adjacent to interstates when appropriately

buffered, or to provide transition between low and high density residential uses.

DeRosier Ranch has been designed to have Medium Density of 5-12 Du/Ac. The single family detached residential portion of the Project will be approximately 6 Du/Ac. and the Multi-Family Portion of the Project will be approximately 10 Du/Ac. In addition, multi-family and commercial uses have been designed along the Future Loop 303 Freeway as appropriate uses and act as buffers-transition zones to the single family detached neighborhoods.

## Standard 28.

Single family residential developments are not appropriate along freeways or abutting to industrial areas unless significant buffers are utilized between the uses. Even with significant buffers, locating single family residential developments adjacent to freeways or heavy industrial areas is strongly discouraged.

DeRosier Ranch has been designed to have "multifamily and commercial uses along the Future Loop 303 Freeway.

## Standard 29.

High density residential developments should not be located directly adjacent to single family residential developments with densities under 5 dwelling units per acre unless a public roadway, park or open space area, medium density residential development, or similar features provides

a buffer between these uses. N/A

## Standard 30.

High density residential projects are most appropriate and encouraged to locate:

- a. Within a 10-minute walk (approximately ½ mile) of a transit station (e.g., local bus station), or
- b. Within a 10-minute (approximately ½ mile) walk of a regional or community park or other significant open space feature or major trail system, or
- c. Within a mixed-use development, or
- d. Adjacent to commercial centers.

DeRosier Ranch exceeds a,b, c & d within Standard 30. All homes at DeRosier Ranch (single family and multi-family) will be a ¼ mile walk (or less) from all the elements outlined in Standards 30. (See Walking Distance Exhibit)

#### Standard 31.

Pedestrian and bicycle connections shall be provided to internally and externally link residential uses to nearby commercial uses, schools, parks, other neighborhoods, and other important destinations by walking or biking.

DeRosier Ranch pocket neighborhoods are all connected via an extensive walkway system. Both bike lanes and walkways are integrated into the plan and provided to the commercial uses along W. Yuma Road, to the "Central Park" and Community Center, and to the Canyon Trails Regional Trail System running the length of the projects eastern boundary. (See Walkway Plan

**Standard 32.** New subdivisions should be designed to provide convenient pedestrian access to adjoining streets, open spaces, and commercial areas. Subdivision design is encouraged that minimizes or avoids the use of typical subdivision perimeter walls.

If subdivision walls are proposed, they should include pedestrian access points for pedestrian movement. The pedestrian access points should be strategically located to maximize usage by residents.

DeRosier Ranch pocket neighborhoods are all connected via an extensive walkway system. Portals for the walkways are integrated into the "wall plan" at DeRosier Ranch to provide connectivity and accessibility. (See Walkway Plan)

#### Standard 33.

Gated communities do not have to provide pedestrian access points but they should allow for public regional trail connections. Gated communities are encouraged to provide pedestrian access points even if they only provide access to residents who live in the community. **N/A** 

## Standard 34.

Neighborhood Commercial uses may be considered at the intersection of two arterial roadways (Arterial, Major Arterial, Scenic Arterial, or Parkway) or to buffer a residential use from an industrial use or interstate freeway within the Neighborhoods category. Neighborhood commercial uses typically serve a trade area of 3-5 miles and typical uses would include grocery stores, drug stores, fueling stations, neighborhood offices, and restaurants. A neighborhood commercial site is typically a stand-alone development 20 acres in size or smaller but the size of the commercial development is not restricted so long as the intensity (e.g., building height, lighting, noise, traffic) of the commercial use is compatible with the surrounding area; the development contains uses typically needed and supportive of the neighborhood; the form of the development is consistent with the surrounding area; and connectivity is provided to nearby trails, open spaces, and residential areas.

Commercial Land Uses at DeRosier have been designed to have a "neighborhood" scale and are integrated to connect to the residential uses within the community through the walkway system.

## Standard 35.

Mixed use developments may be considered at the intersection of two arterial roadways (Arterial, Major Arterial, Scenic Arterial, or Parkway as designated by the transportation plan) or at the intersection of an arterial roadway and a collector roadway.

## **Business & Commerce Category**

The Business & Commerce category provides areas for the growth and development of Goodyear's economic base including large areas for shopping and entertainment. This category includes uses such as community level retail, entertainment, service oriented businesses that are regionally significant (typically serving a trade area of 5-10 miles or larger). Business & Commerce includes uses such as, but not limited to, business parks, offices, warehouses, regional hospitals, high density residential that supports the area, and other light industrial uses that are also appropriate in certain areas. This category may also include public & community facilities.

# Business & Commerce Development Standards:

## Standard 36.

Commercial and office uses are appropriate throughout the Business & Commerce category. Commercial and office uses will be developed within the Commercial land use category at DeRosier Ranch.

Goodyear, Arizona 13 | Page

## Standard 37.

Light industrial uses such as warehousing or distribution centers are appropriate throughout the Business & Commerce category but should be buffered from residential use. **No light industrial uses are contemplated at this time, however, at the time of site plan approval any light industrial uses at DeRosier Ranch will have a buffer to residential land uses.** 

### Standard 38.

Land uses that create significant noise, glare, air contaminants, etc. are not appropriate in this category and should be located within the Industrial Category.

No such land uses are contemplated or allowed as a matter of right within the DeRosier Ranch Commercial areas.

## Standard 39.

Businesses with high employment density are encouraged to locate adjacent to high capacity roadway corridors (freeways, parkways, arterials) and transit corridors (light rail and arterials with bus service) to leverage high visibility and vehicular/pedestrian access. This will be determined at that time of site plan review and approval. With the Commercial zoning of DeRosier Ranch being along W. Yuma Road arterial and nearly adjacent to the Future Loop 303 there may be such a use.

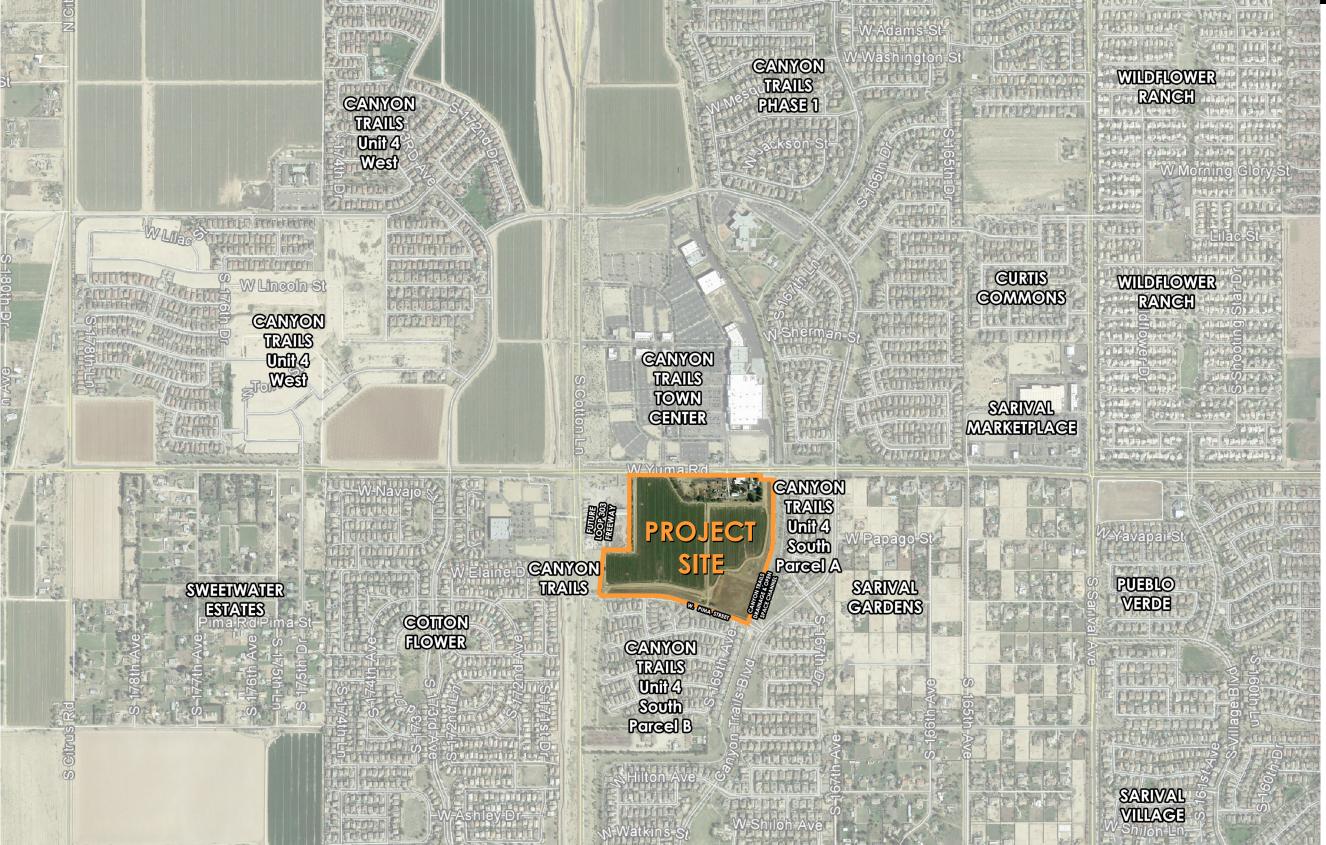
## Standard 40.

Walking and biking should be accommodated and encouraged by providing trails, bike lanes, sidewalks, and paths to allow for safe pedestrian movement. Linkages to nearby residential developments should be provided in conformance with Standard 28.

As stated above Standard 28 is met at DeRosier Ranch.

goodyear, arizona
PLANNED AREA DEVELOPMENT

EXHIBIT - A Context Map





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PLANNED AREA DEVELOPMENT

EXHIBIT - B Aerial Map





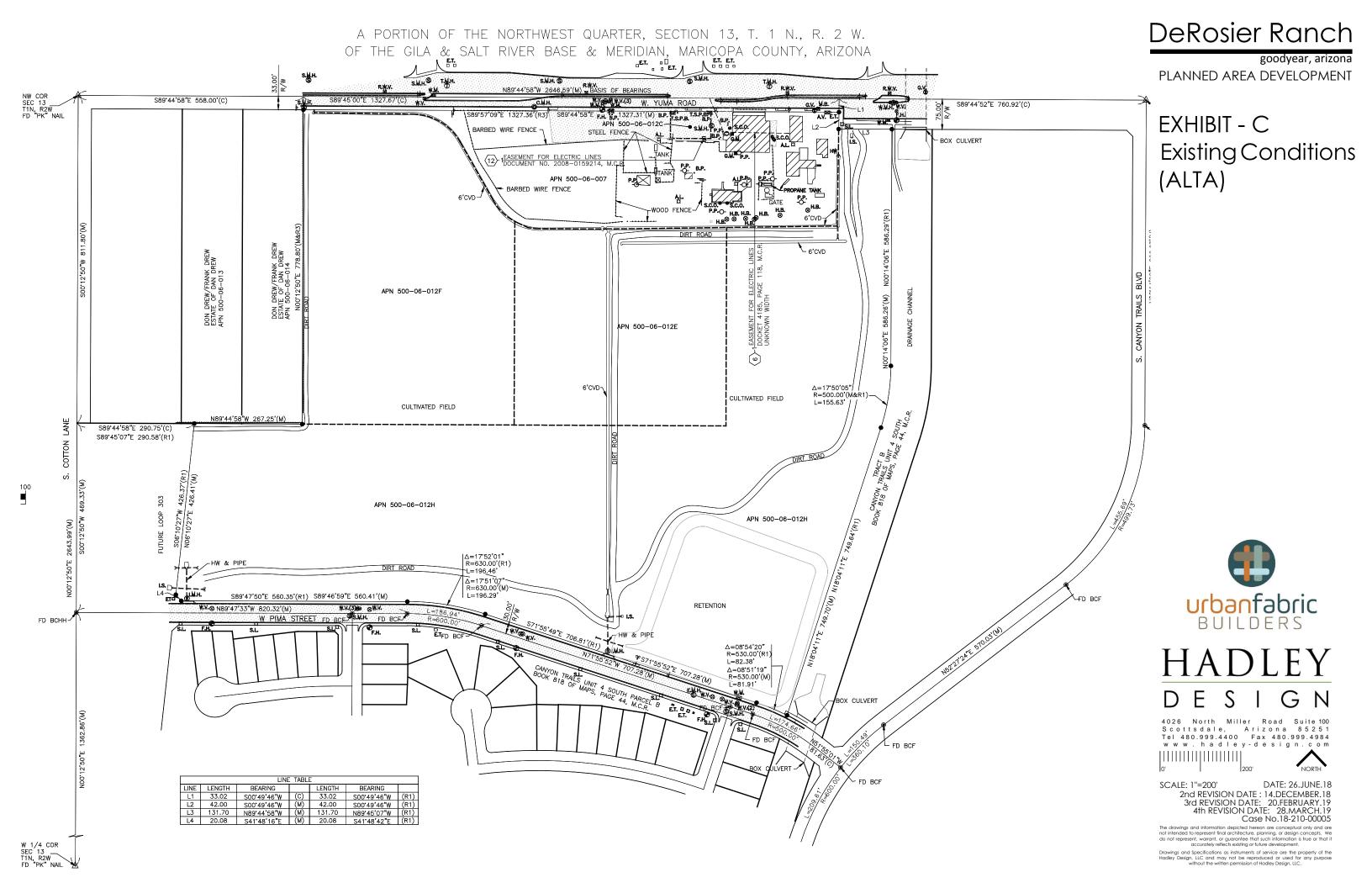
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PLANNED AREA DEVELOPMENT

EXHIBIT - D General Plan Land Use

## Legend

- Maricopa/Pinal County Line
- Municipal Planning Area Boundary
- City Boundary (Generalized)

## Land Use Categories

- Open Space
  - Agriculture
  - Scenic Neighborhood
  - Neighborhood
  - Business & Commerce
- Industrial
- ★ City Center

## **Land Use Overlay Districts**

- Village Center Overlay
- Luke Compatible Land Use Overlay
- Transit Oriented Development Overlay
- Wildlife Linkage Overlay
- ////// Aggregate Mining Overlay
- + Phoenix/Goodyear Airport
- Airport 65 DNL (Day-night Noise Level) Line
- Luke AFB Accident Potential Zone (APZ)
- Sonoran Desert National Monument
- Wilderness Area

## Roadway Classifications

- --- Arterial
- Scenic Arterial
- Scenic Arterial Proposed
- City Center Arterial
- Major Arterial
- --- Major Arterial Proposed
- Major Arterial Road of Regional Significance
- Parkway
- Parkway Proposed
- ---- Freeway
- Freeway/Parkway Proposed
  - Other Streets
- --- Rail Road



urbanfabric BUILDERS

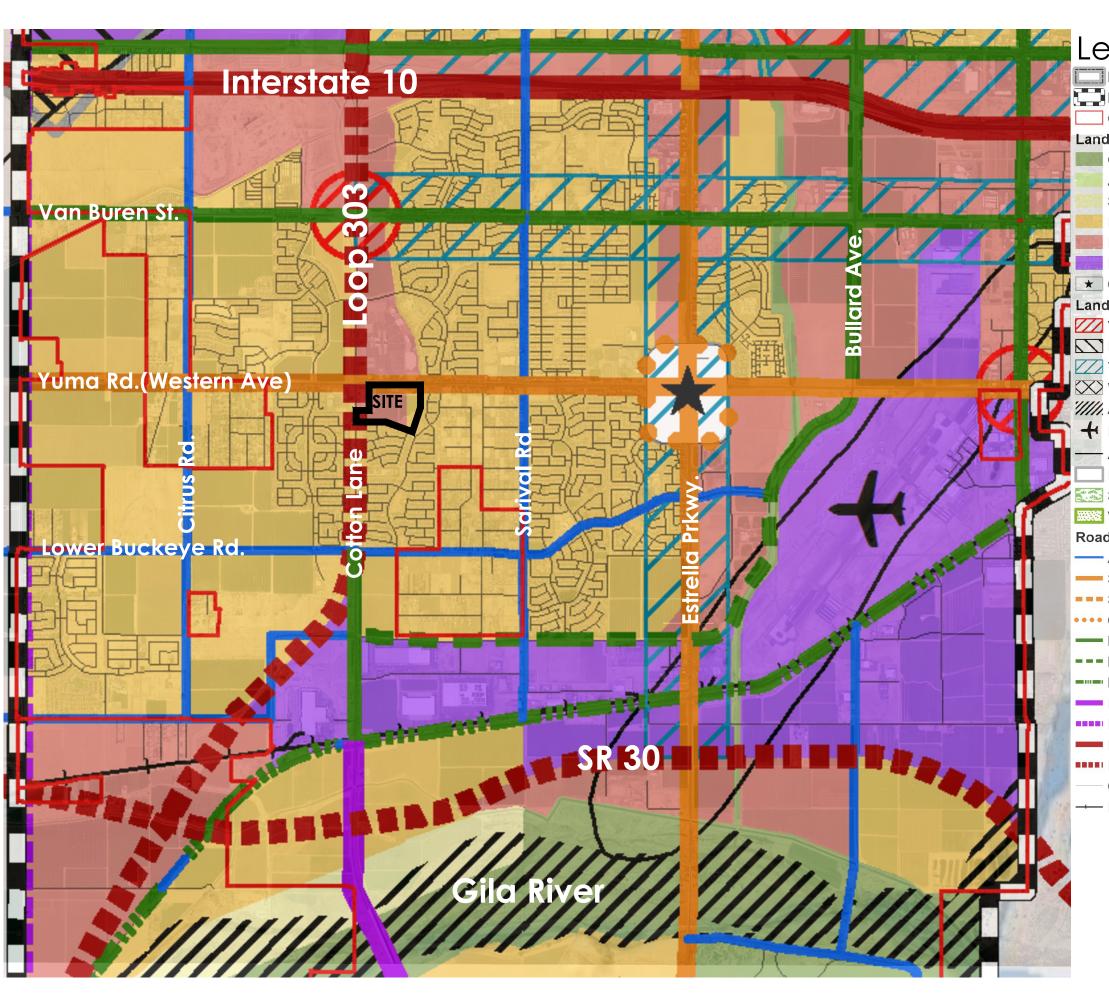
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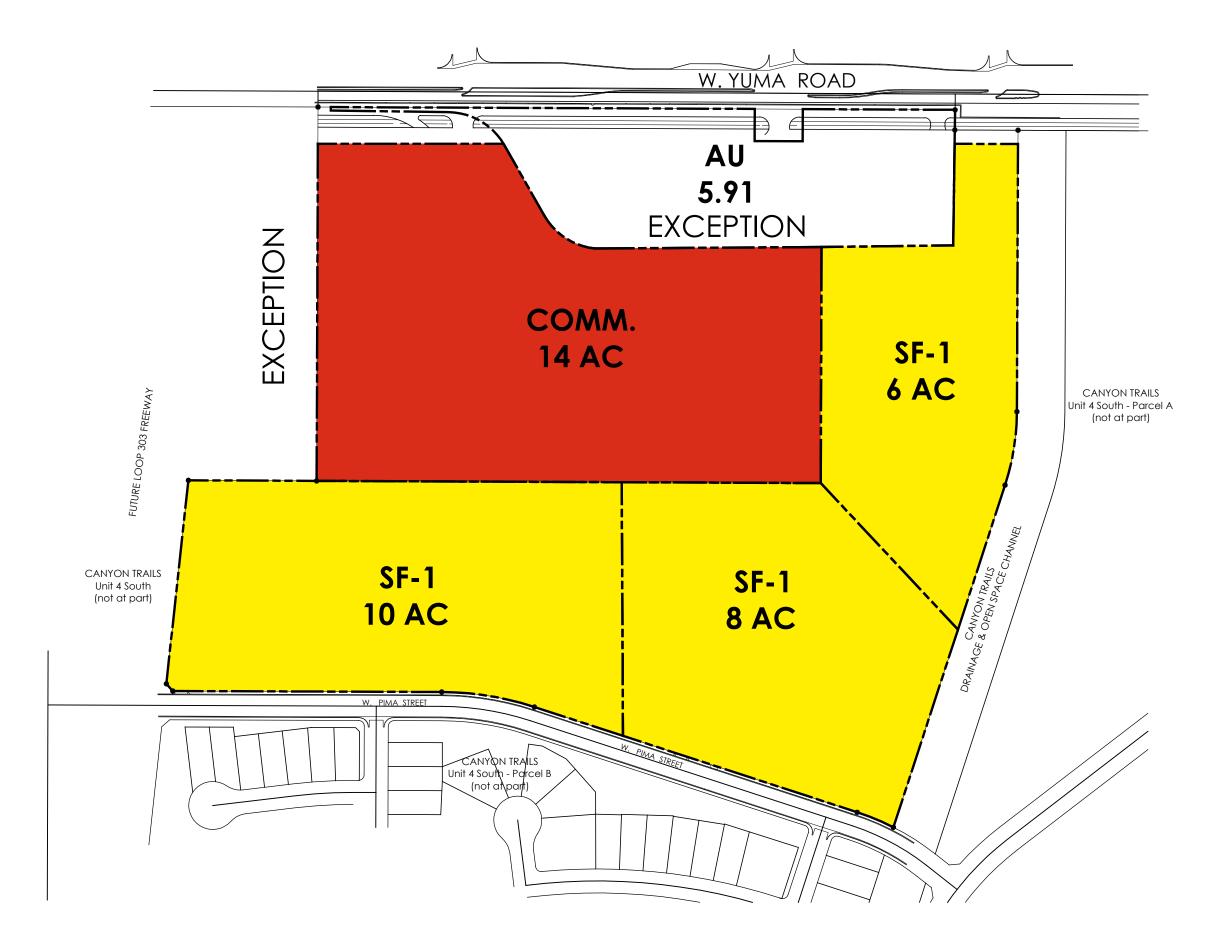


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PLANNED AREA DEVELOPMENT

EXHIBIT - E Existing Zoning

SITE DATA OVERALL

PAD SF-1 ZONED 24 ACRES

PAD COMM. ZONED 14 ACRES

PAD OS ZONED 1 ACRE

AU ZONED (EXCEPTION TO PAD)
5.91 ACRE

TOTAL GROSS ACRES 44.91 ACRES



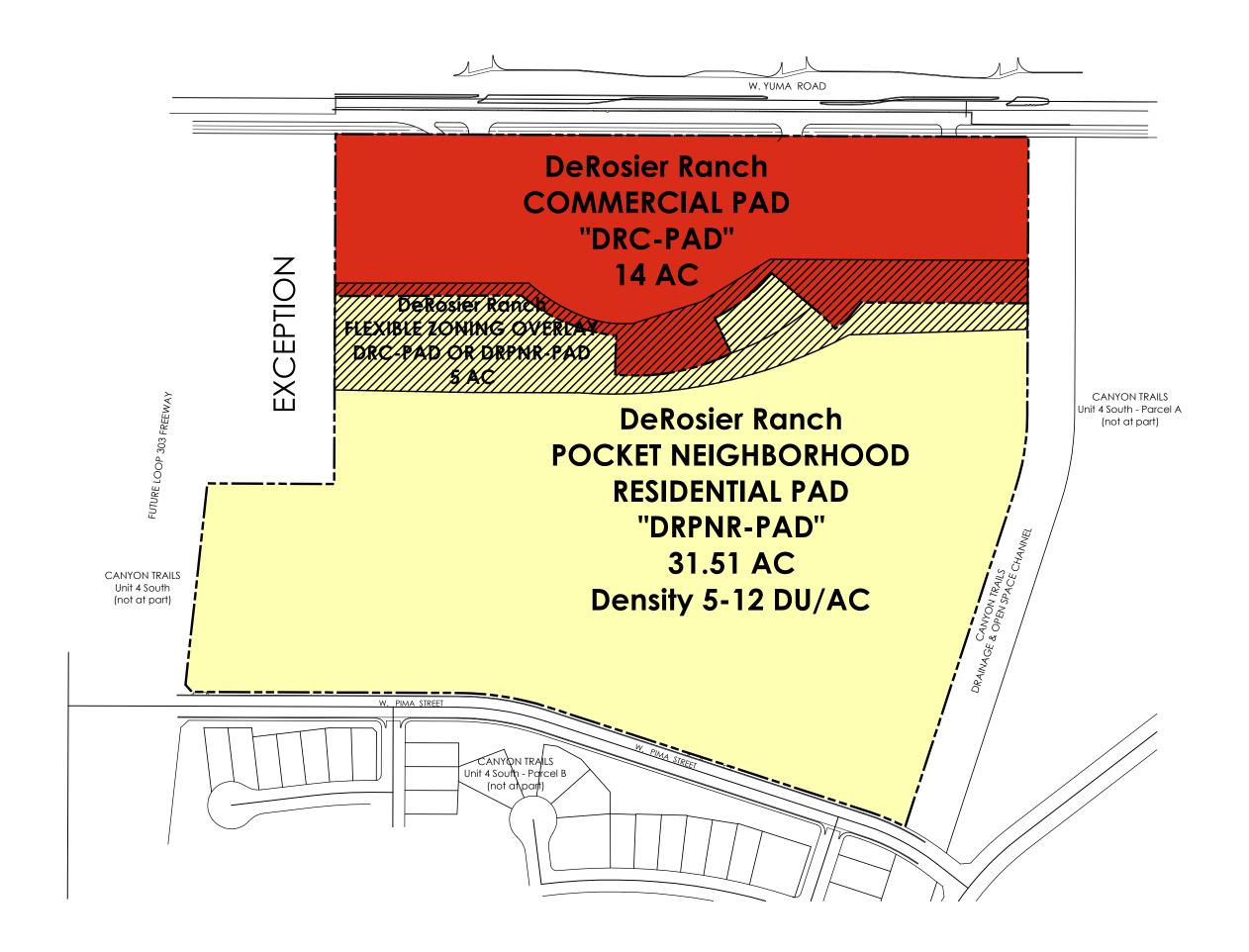
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PLANNED AREA DEVELOPMENT

EXHIBIT - F Zoning Plan

## SITE DATA OVERALL

DeRosier Ranch
Pocket Neighborhood
Residential PAD
"DRPNR-PAD" ZONED
31.51 AC

DeRosier Ranch
Commercial PAD
"DRC-PAD" ZONED

14.0 AC

TOTAL GROSS ACRES 45.51 AC



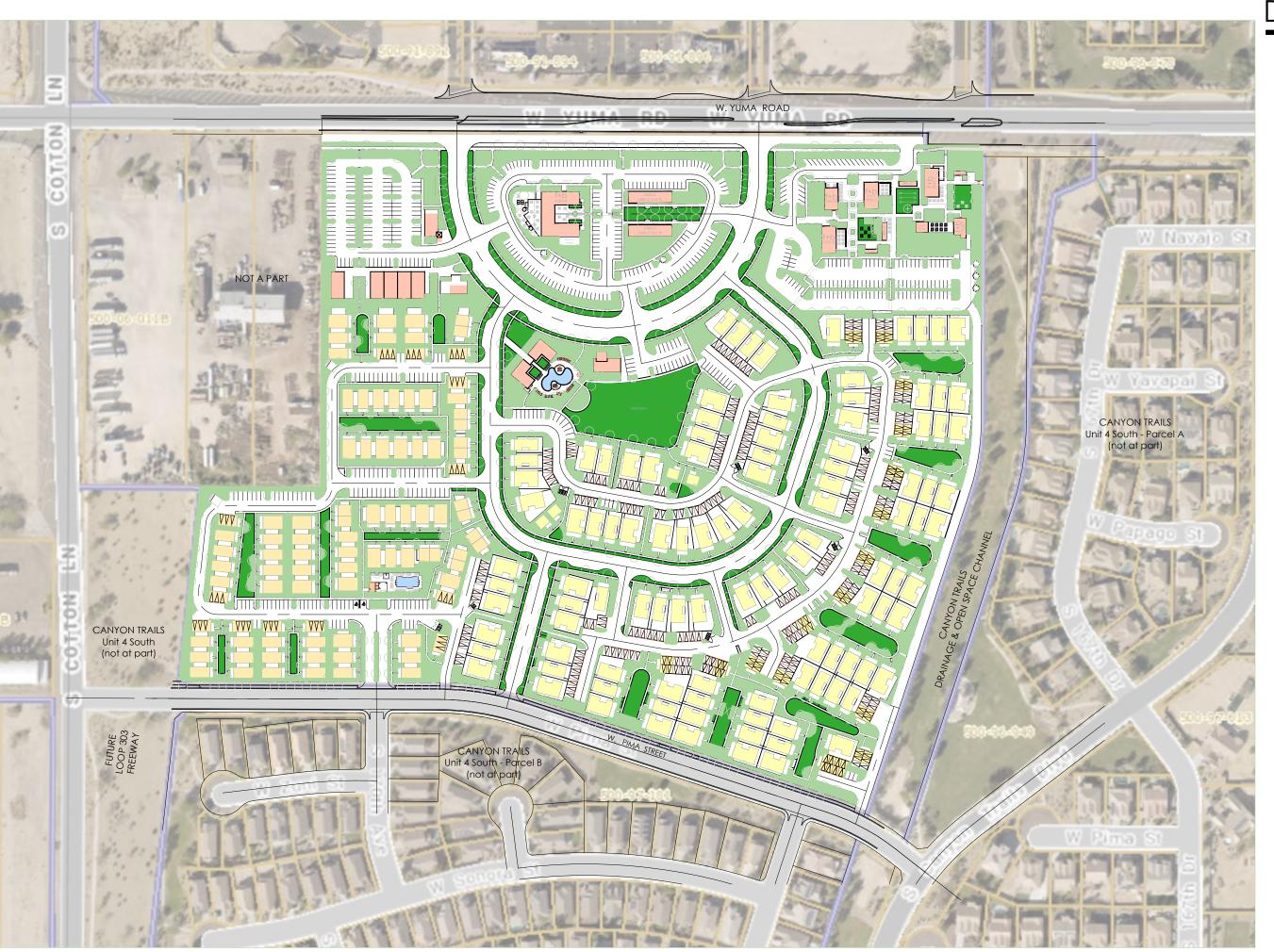
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PLANNED AREA DEVELOPMENT

EXHIBIT - G Conceptual Site Plan

LAND USES

**DEVELOPMENT OPTIONS UNDER "DRPNR-PAD"** 

PN-1A PN-2A 21.76 AC 9.75 AC

RESIDENTIAL ZONED

31.51 AC

"DRC-PAD" COMMERCIAL ZONED 14.0 AC TOTAL GROSS ACRES 45.51 AC



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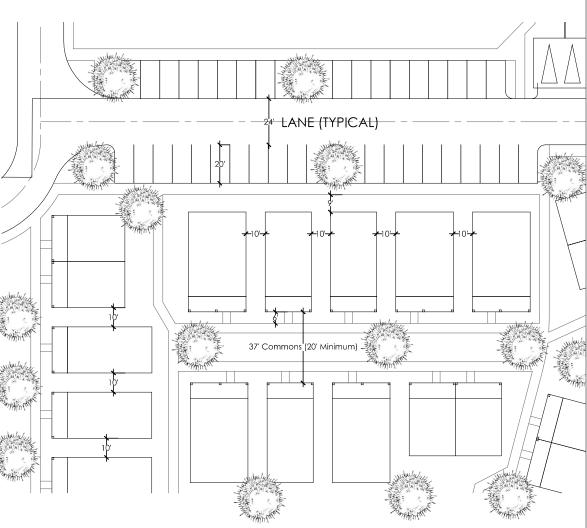
 

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# 10' Minimum Building Separation (A)SFD UNIT B BUILDING 5' B.S.L. & BUILDING 5' B.S.L. & M.U.B.E. ENVELOPE M.U.B.E. ENVELOPE COMMONS TYPICAL LOT (MINIMUM) TYPICAL LOT (MINIMUM) "ON COMMONS" "ON LOCAL ROW" DUPLEX-A DUPLEX-A 5' B.S.L. & M.U.B.E. 5' B.S.L. & DUPLEX-A DUPLEX-A BUILDING BUILDING ENVELOPE ENVELOPE M.U.B.E. 12 B.S.L. 4 P.U.E. P/L (Back of Walk) TYPICAL DUPLEX A TYPICAL DUPLEX A "ON LOCAL ROW" "ON COMMONS" LANE (TYPICAL) B.S.L. & DUPLEX-B DUPLEX-B BUILDING BUILDING ENVELOPE ENVELOPE DUPLEX-B DUPLEX-B 5' B.S.L. & BUILDING BUILDING ENVELOPE ENVELOPE 10' B.S.L. & M.U.B.E. 12 B.S.L. 4 P.U.E. P/L (Back of Walk) TYPICAL DUPLEX B TYPICAL DUPLEX B "ON LOCAL ROW" "ON COMMONS" PUBLIC LOCAL ROAD Development Option PN-1A



Development Option PN-2A

# DeRosier Ranch

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PLANNED AREA DEVELOPMENT

EXHIBIT - H
Conceptual Lot
Configurations &
Setbacks for

Development Options PN-1A & PN-2A



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PLANNED AREA DEVELOPMENT

EXHIBIT - I Conceptual Neighborhood Commons Plan View

## **POCKET PARK KEY NOTES**

- OPENSPACE TRACTS THAT CONTAIN SIDEWALK CONNECTIONS, OPEN TURF, AND SHADE TREES. TRACTS MAY ALSO INCLUDE SEATING NODES AND GARDEN ELEMENTS.
- 2 PEDESTRIAN WALKWAYS SHALL INTER-CONNECT WITH OTHER OPENSPACE TRACTS, ROADWAYS, AND GARAGES.
- 3 RESIDENT PRIVATE SIDEYARDS (WITHIN USE AND BENEFIT ESMT.) THAT MAY BE CONTAINED WITH BLOCK WALLS OR FENCES.
- PLANTING THEME SHALL BE CONTINUOUS THROUGHOUT OPEN SPACE TRACTS AND FRONT YARD LANDSCAPE. THEME SHALL CONTAIN REGIONALLY PROVEN LOW WATER USE AND LOW MAINTENANCE FLOWERING SHRUBS AND GROUNDCOVERS.
- ALL TURF AREAS SHALL BE CONTAINED WITH A RIGID HEADER AND ALL PLANTING AREAS SHALL RECEIVE DUST CONTROL TOPDRESSING PER CITY OF COODY AREA CHIDELINES.



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PLANNED AREA DEVELOPMENT

EXHIBIT - J Conceptual Neighborhood Commons Section



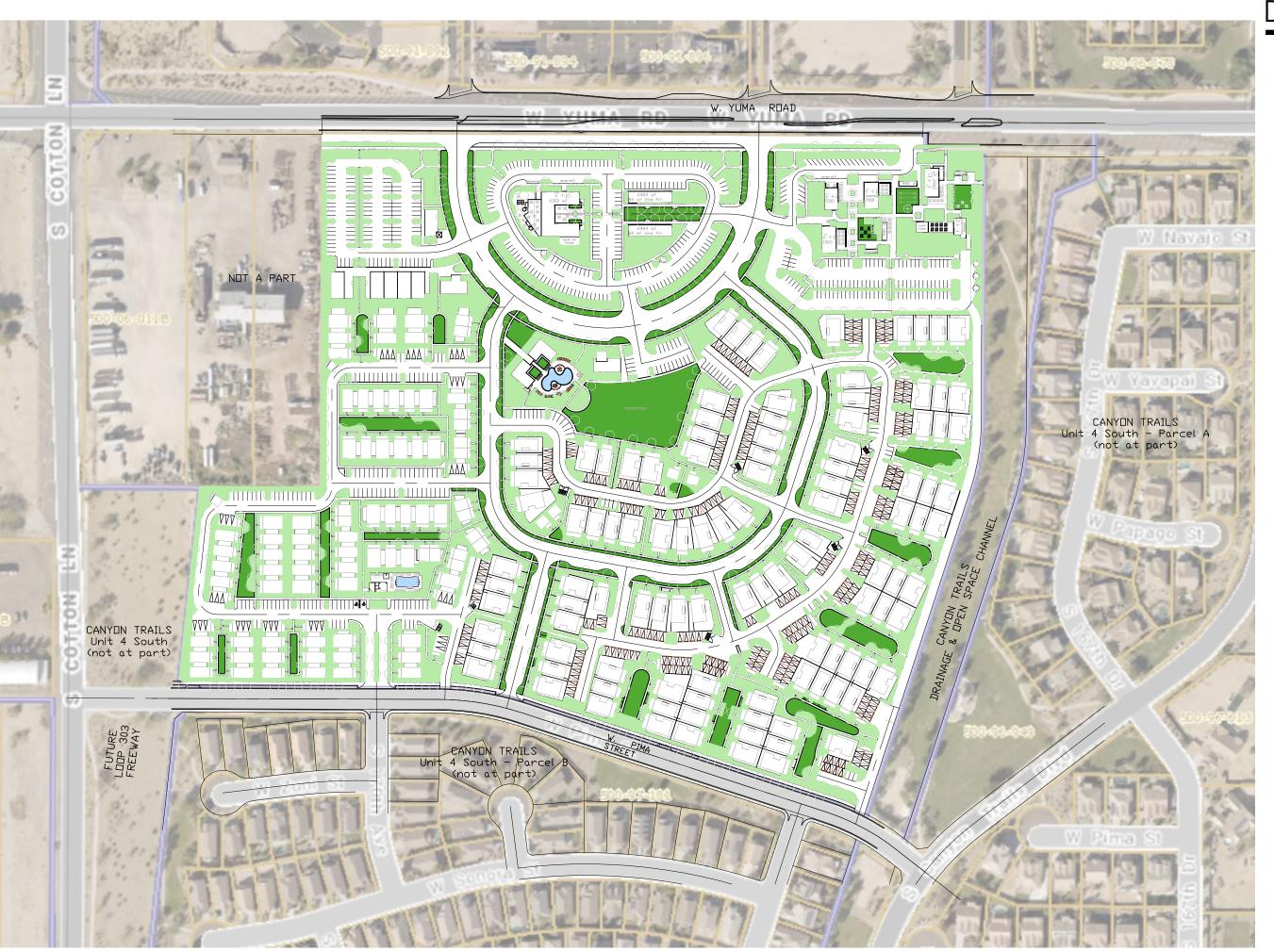
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goodyear, arizona PLANNED AREA DEVELOPMENT

EXHIBIT - K Conceptual Open Space Plan

Legend



Turf



DeRosier Ranch will have a minimum of 15% of the residential area (4.72 Acre) as Open Space meeting the opens space requirements set forth in this PAD and the City of Goodyear.



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PLANNED AREA DEVELOPMENT

EXHIBIT - L
Conceptual
Community
Park & Recreation
Center

## **COMMUNITY AMENITY KEY NOTES**

- MULTI-PURPOSE COMMUNITY CENTER BUILDING
- COMMUNITY POOL AMENITY WITH SEATING, SHADE ELEMENTS, AND ENCLOSURE WALLS.
- 3 CENTRAL PARK FOR COMMUNITY GATHERING THAT MAY INCLUDE SHADE ELEMENTS, ACTIVE PLAY, SHADE TREES, AND OPEN TURF AREAS, SEATING NODES, AND GARDEN ELEMENTS.
- PEDESTRIAN WALKWAYS SHALL INTER-CONNECT WITH OTHER OPENSPACE TRACTS, ROADWAYS, AND GARAGES.
- 5 PLANTING THEME SHALL BE CONTINUOUS THROUGHOUT OPEN SPACE TRACTS AND FRONT YARD LANDSCAPE. THEME SHALL CONTAIN REGIONALLY PROVEN LOW WATER USE AND LOW MAINTENANCE FLOWERING SHRUBS AND GROUNDCOVERS.
- 6 ALL TURF AREAS SHALL BE CONTAINED WITH A RIGID HEADER AND ALL PLANTING AREAS SHALL RECEIVE DUST CONTROL TOPDRESSING PER CITY OF GOODYEAR GUIDELINES.





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EXHIBIT - M

Conceptual

Landscape Plan

#### KEY NOTES

ARTERIAL STREET FRONTAGE (YUMA ROAD & HIMA STREET) W/ LO WATER USE STREET TREES, ACCENTED BY MASSINGS OF FLOWERIN SHRUBS AND GROUNDCOVERS. LANDSCAPE TO BLEND WI

COMMUNITY POOL AMENITY, SEE SHEET L-2

PROPOSED NEIGHBORHOOD ENTRY FEATURE W/SIGNAGE, AND ACCENT PLANTING. REFER TO ENTRY ENLARGEMENT ON SHEET L-2

INTERNAL STREETS W/ CURB SEPARATED SIDEWALKS, PARALLEL PARKING, AND FORMAL STREET TREE PATTERN TO PROVIDE SHADE.

NEIGHBORHOOD COMMON AREA TRACTS (POCKET PARKS)

Y ALSO CONTAIN SEATING NODES. SEE TYPICAL LAYOUT, SHEET L-2.

RESIDENTIAL TRASH COLLECTION (SHARED) TO BE SCREEN BY 6' HIGH WALLS AND GATES.

COMMERICAL FRONTAGE SHALL CONTAIN 3' HIGH WALLS OR MOUNDED

ASSINGS OF FLOWERING SHRUES AND GROUNDCOVERS.

E 6' HIGH SOUD THEMEWALL ALONG RESIDENTIAL PERMETER OF DEVELOPMENT. REFER TO ELEVATION ON SHEET 1-4. SIDEYARD AND CONNER LOTS TO RECEIVE F. HIGH SCREEN WALLS, PER INSTITUTULAL HOME. WALLS SHALL BLEND WITH HOUSE FINISHES AND BE INSTALLED AT TIME OF HOUSE CONSTRUCTION.

MERGENCY ACCESS DRIVE WITH GRANULAR SURFACE

PERIMETER SIDEWALK CONNECTIONS TO EXISTING CANYON TRAILS OPENSPACE WALK SYSTEM.

## WALL / SYMBOL LEGEND

symbol	description
	6' HIGH PERIMETER THEMEWALL PARCEL PHASE LINE
	LOW SCREEN WALL

## RESIDENTIAL LOT LEGEND

KESIDEINIIAE EOT LEGEND		
symbol	description	
	SINGLE FAMILY RESIDENTIAL	
	LEASE	
	COTTAGE	
	GARAGE	
	LIVE ABOVE GARAGE	
	RETAIL/COMMERCIAL	





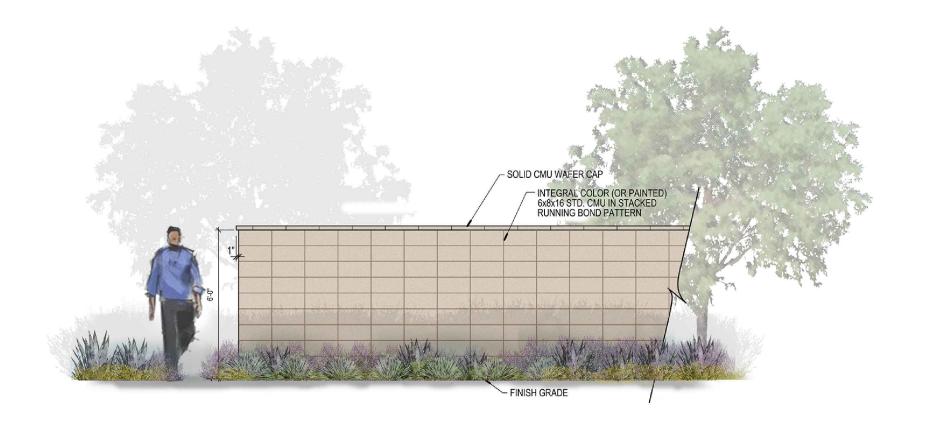
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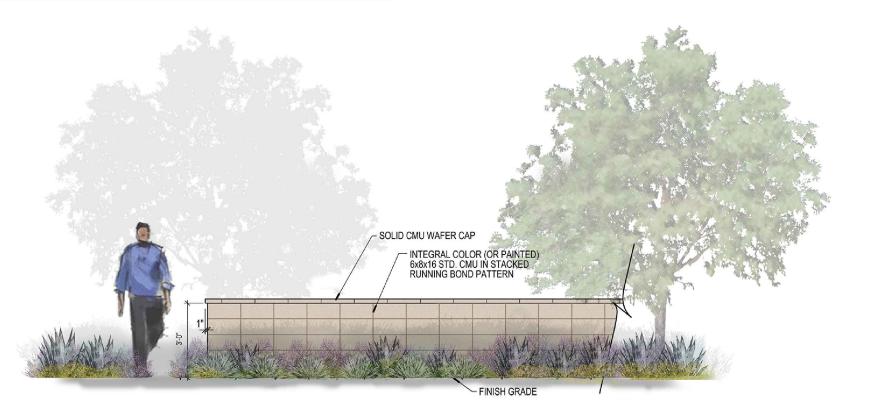
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## 6' HIGH PERIMETER THEMEWALL - SECTION 'A-A'





## 3' HIGH RETAIL SCREEN WALL - SECTION 'B-B'

# DeRosier Ranch

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PLANNED AREA DEVELOPMENT

EXHIBIT - N
Conceptual
Walls Character
Sketches





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# CONCRETE OR CMU ACCENTWALL - MARQUEE' STYLE LIGHTED LETTERS ATTACHED TO WALL - MARQUEE' STYLE LIGHTED LETTERS ATTACHED TO WALL - MARQUEE' STYLE LIGHTED LETTERS ATTACHED TO WALL - COLOR ACCENT PLANTING - FINISH GRADE - COLOR ACCENT PLANTING - FINISH GRADE - COLOR ACCENT PLANTING - FINISH GRADE - COLOR ACCENT PLANTING - FINISH GRADE

# SIGN / ENTRY MONUMENT

# DeRosier Ranch

goodyear, arizona PLANNED AREA DEVELOPMENT

EXHIBIT - O
Conceptual
Monument
Character
Sketch



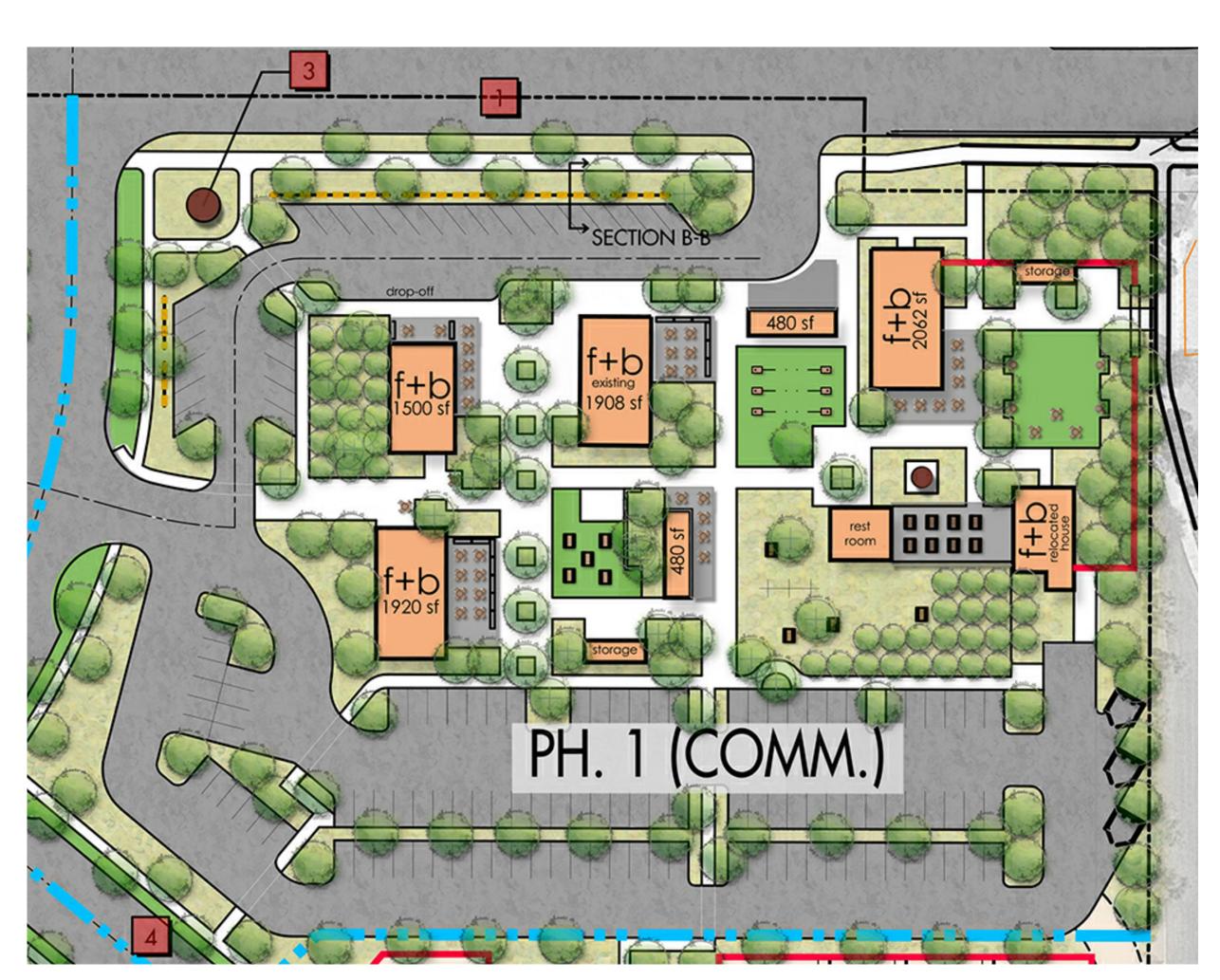


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PLANNED AREA DEVELOPMENT

## EXHIBIT - P Conceptual Commercial Plan

## **KEY NOTES**

- WATER USE STREET FRONTAGE (YUMA ROAD & PIMA STREET) W/ LOW
  WATER USE STREET TREES, ACCENTED BY MASSINGS OF FLOWERING
  SHRUBS AND GROUNDCOVERS. LANDSCAPE TO BLEND WITH
  SURROLINDING DEVELOPMENTS
- 2 COMMUNITY POOL AMENITY, SEE SHEET L-2
- PROPOSED NEIGHBORHOOD ENTRY FEATURE W/SIGNAGE, AND ACCENT PLANTING. REFER TO ENTRY ENLARGEMENT ON SHEET 1-2
- INTERNAL STREETS W/ CURB SEPARATED SIDEWALKS, PARALLEL PARKING, AND FORMAL STREET TREE PATTERN TO PROVIDE SHADE.
- SIDEWALKS, TREES, FLOWERING GROUNDCOVERS AND SHRUBS. AREAS MAY ALSO CONTAIN SEATING NODES. SEE TYPICAL LAYOUT, SHEET L-2.
- 6 RESIDENTIAL TRASH COLLECTION (SHARED) TO BE SCREEN BY 6' HIGH WALLS AND GATES.
- [7] COMMERICAL FRONTAGE SHALL CONTAIN 3' HIGH WALLS OR MOUNDED GRADE TO SCREEN PARKING LOTS. LANDSCAPE AREAS ACCENTED BY MASSINGS OF FLOWERING SHRUBS AND GROUNDCOVERS.
- B 6' HIGH SOLID THEMEWALL ALONG RESIDENTIAL PERIMETER OF DEVELOPMENT. REFER TO ELEVATION ON SHEET L-4. SIDEYARD AND CORNER LOTS TO RECEIVE 6' HIGH SCREEN WALLS, PER INDIVIDUAL HOME. WALLS SHALL BLEND WITH HOUSE FINISHES AND BE INSTALLED AT TIME OF HOUSE CONSTRUCTION.
- 9 EMERGENCY ACCESS DRIVE WITH GRANULAR SURFACE
- PERIMETER SIDEWALK CONNECTIONS TO EXISTING CANYON TRAILS OPENSPACE WALK SYSTEM.



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EXHIBIT - Q Conceptual "Pedestrian Portal"



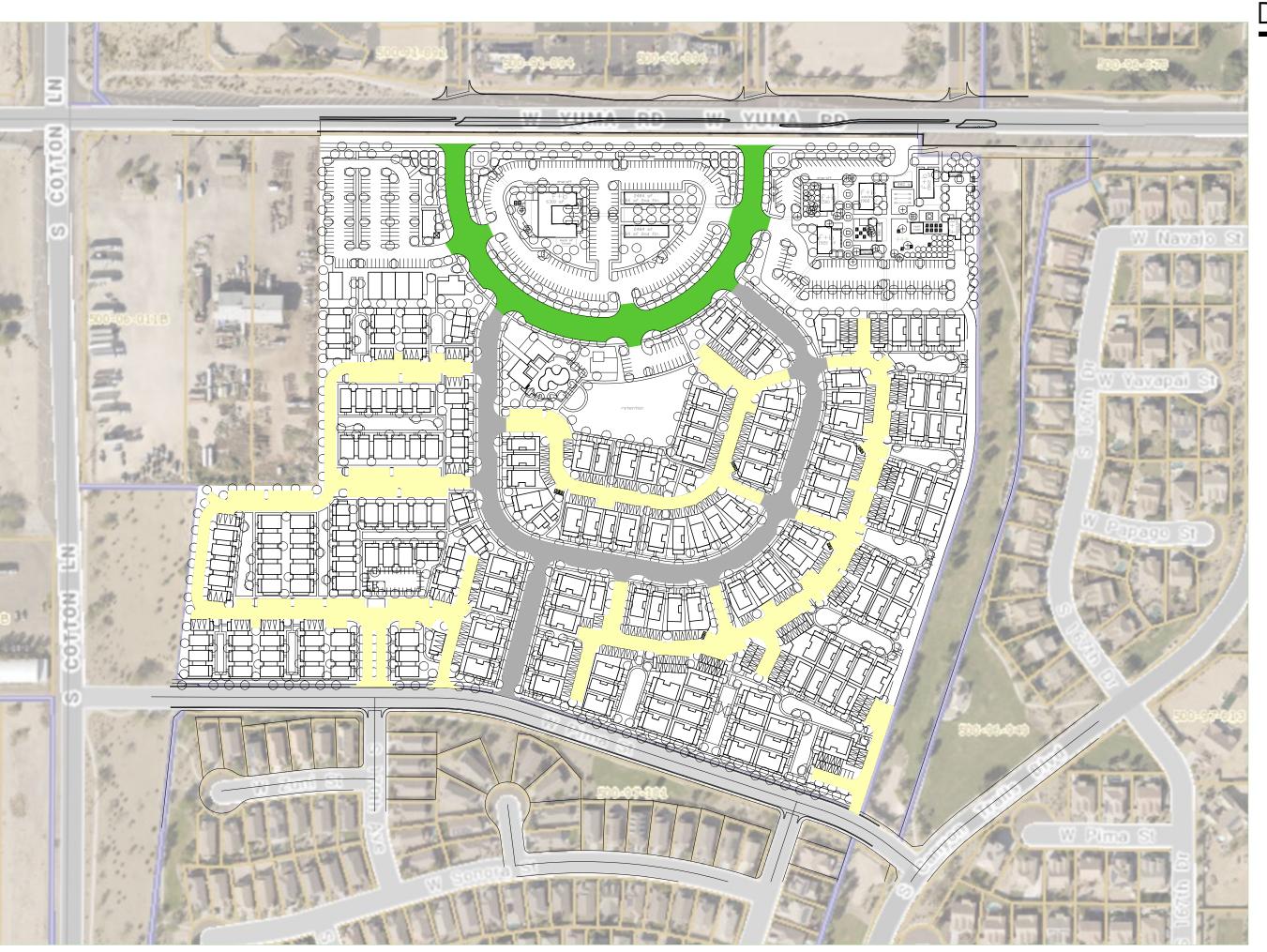


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PLANNED AREA DEVELOPMENT

EXHIBIT - R Circulation Plan

## Legend

Local Public Commercial Street

Local Public Residential Street

Local Private Residential "Lane"



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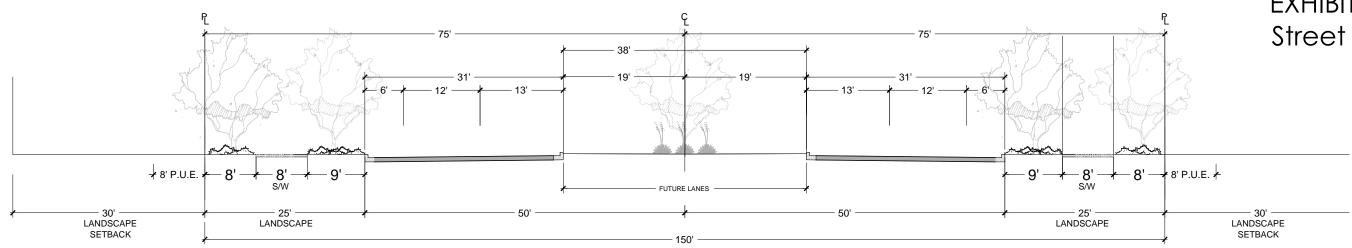
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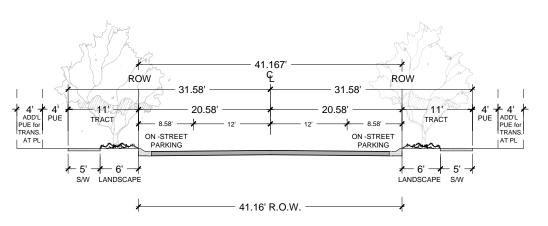
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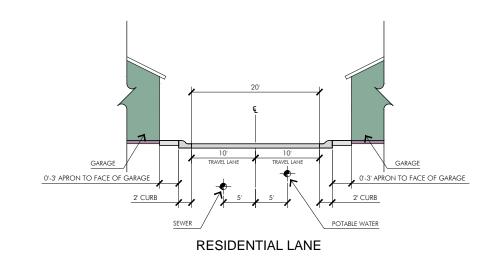
## EXHIBIT - S Street Sections

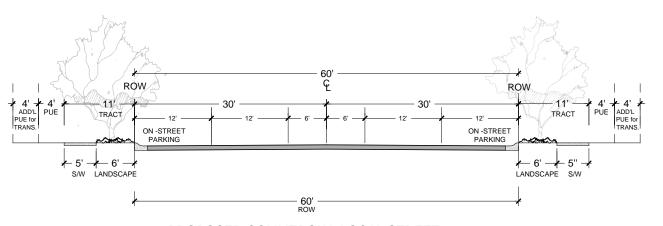


W. YUMA ROAD

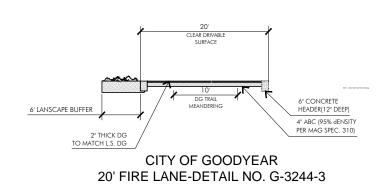


PROPOSED RESIDENTIAL LOCAL STREET





PROPOSED COMMERCIAL LOCAL STREET



urbanfabric BUILDERS

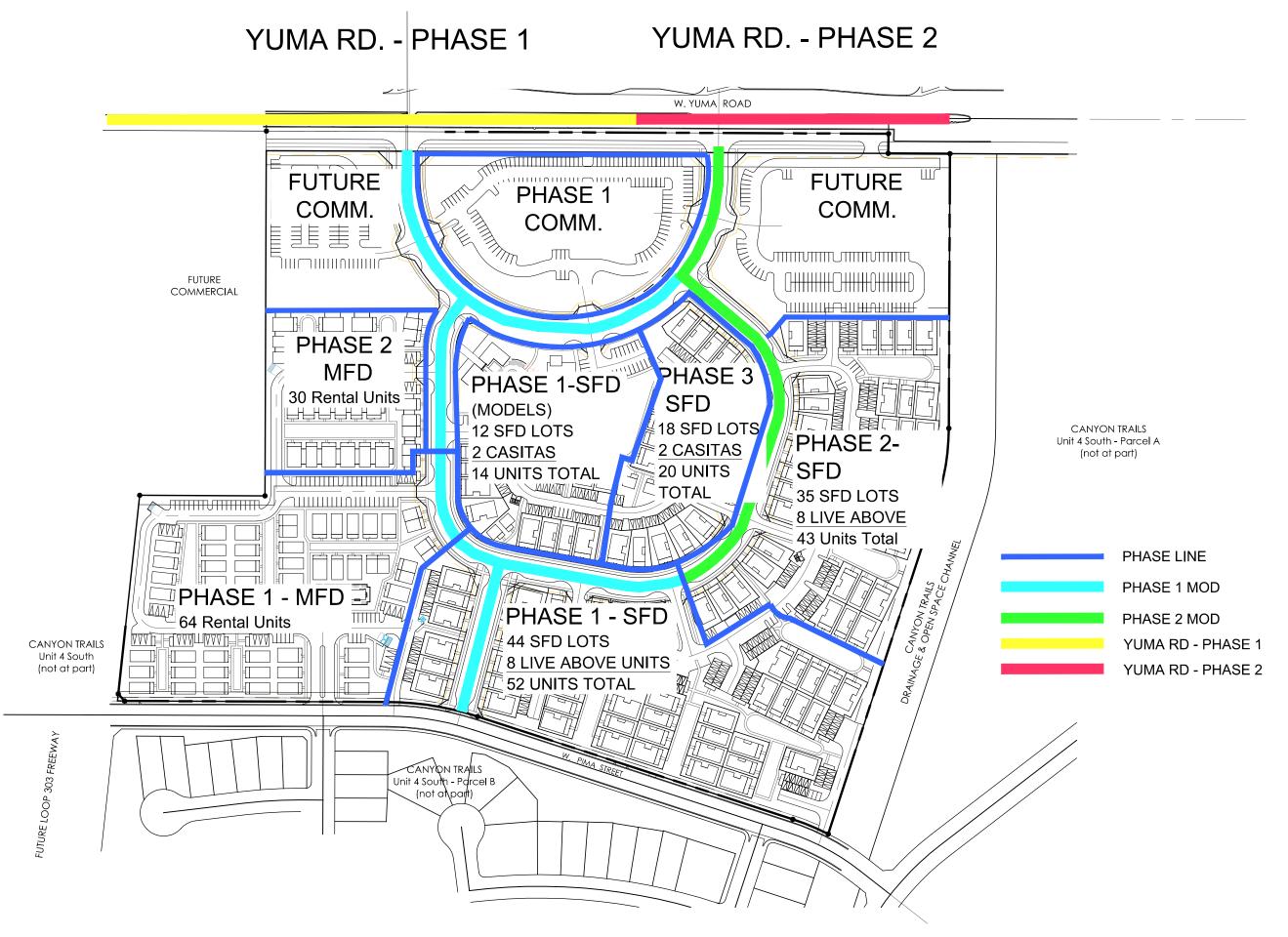
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PLANNED AREA DEVELOPMENT

EXHIBIT - T Conceptual Phasing Plan

## PHASE ONE

56 SFD LOTS 8 Live Above Units

2 Casita

66 UNITS TOTAL

## PHASE TWO

35 SFD LOTS 8 Live Above Units 43 UNITS TOTAL

## PHASE THREE

18 SFD LOTS
2 Casita
20 UNITS TOTAL

## PHASE - SFD-ALL

109 SFD LOTS
16 Live Above Units
4 Casita
129 UNITS TOTAL



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