

DeRosier Ranch



Planned Area
Development
Amendment
Development
Standards Book

Case #18-210-00005

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DeROSIER RANCH DEVELOPMENT STANDARDS

The following development descriptions and standards are intended to direct the nature and intensity of residential and non-residential uses in DeRosier Ranch. If the provisions of the DeRosier Ranch PAD Narrative and Development Standards of the Planned Area Development PAD (collectively, the "PAD Narrative and Development Standards") are in conflict with the Zoning Ordinance or the City Code, the provisions of the PAD Narrative and Development Standards shall govern and control. Unless expressly modified herein all municipal codes, policies and ordinances, in effect at the time of approval of the DeRosier Ranch PAD shall apply. One or more of the following Development Options shall be selected at the point of or prior to subdivision plat or site plan submittal.

SECTION 1.0 – DeROSIER RANCH POCKET NEIGHBORHOOD RESIDENTIAL DEVELOPMENT STANDARDS

This section identifies uses and development standards for the Development Options that may be selected with the DeRosier Ranch Pocket Neighborhood Residential PAD Zoning District either the Single Family Pocket Neighborhood 1A PAD Zoning District or Multi-Family Pocket Neighborhood 2A PAD Zoning District as well as the standards for the DeRosier Ranch Commercial "DRC" Zoning District at DeRosier Ranch. Should DeRosier Ranch be developed as a "conventional" or not as a "pocket neighborhood" all residential zoning will revert to City of Goodyear Residential Zoning District R1C (See **Exhibit A-ZONING PLAN**)

PERMITTED USES

Table 1-1 below identifies uses that are permitted, uses that are permitted if certain conditions are met, and uses that may be permitted by a Use Permit within each Single Family Residential and Multi-Family Residential District in this PAD. The various types of permitted uses are designated below:

P – Principal Permitted Use

U – Use Permit Use

C – Use that is permitted if certain conditions are met

AC – Accessory Use that is permitted if certain conditions are met

Unless otherwise expressly permitted elsewhere in the PAD, uses not specifically permitted are prohibited.

Table1-1: Residential Districts Use Classifications		
P - Principal Use; U - Use Permit Use; C - Uses that are permitted if certain conditions are met; AC - Accessory Use that are permitted if certain conditions are met	Single Family	Multi-Family
	PN-1A	PN-2A
Household Living		
Dwelling, one single family detached	P	P
Dwelling, one single family attached	P	P
Dwelling, two family (duplex) & three family (triplex)	P	P
Dwelling, multiple (exceeding 3 families per building)		P
Detached accessory building	AC	
Group Living		
Assisted Living Facility	U	U
Assisted Living Home		
1-6 residents	P	P
7-10 residents, more than 1/4 mile from another Assisted Living Home with 7-10 residents	C	U
7-10 residents, less than 1/4 mile from another Assisted Living Home with 7-10 residents	U	U
Civic & Institutional		
Day care		
Home day care: 1-3 adults or children	AC	AC
Home day care: 4-10 adults or children	U	U
Day care facility	U	U
Home business, other than home daycare	AC	AC

Parks, playgrounds and other recreational facilities including accessory eating and drinking establishments which may not be located closer than 100 feet to any adjacent residential use or district.	P	P
Public utility facility to serve immediate area, excluding office facilities and maintenance yards	U	U
Temporary office, construction sheds, storage, and similar uses incidental to a construction project, which shall be removed upon completion or abandonment of the construction work.	P	P
Model Home Complex	P	P
Uses of land or structures customarily incidental and subordinate to one of the principal uses	AC	AC

DEVELOPMENT STANDARDS FOR DEVELOPMENT OPTION SINGLE FAMILY - POCKET NEIGHBORHOOD-1A "PN-1A"

The following development standards apply to all single family residential POCKET NEIGHBORHOOD 1A - "PN-1A".

- A. Table 1-2 prescribes development standards the single family residential district Pocket Neighborhood 1A "PN-1A Except for Units created in tract(s) through condominium platting within the Pocket Neighborhood 1A "PN-1A" Zoning District whose development standards are prescribed in Table 1-3. Platted lots are "traditional" fee simple lots. Condominium platted units are utilized for residence above garages as well as single family and potentially duplexes units related to and/or within tracts.

Table 1-2 : Development Standards Single Family District Pocket Neighborhood 1A - Platted		
		Proposed Development Standards
Standard		Pocket Neighborhood 1A "PN-1A" Single Family Plat
Lot Standards		
Minimum Lot Area (sq ft)		2,800
Minimum Lot Width (ft)		35
Minimum Lot Depth (ft)		70
Building Form and Location		
Maximum Height (ft)		30
Maximum Building Coverage		75%
Minimum Setbacks (ft)		
	Front (1)(2)	10
	Front facing garage	N/A
	Side	0 (3)
	Total both sides	0 (3)
	Street Side (4)	10
	Rear	5
Development Standards		
Open Space % (of net area)		15
<i>(1) Front setback shall be measured to covered patios, covered porches, livable space, and/or side entry garages</i>		
<i>(2) Minimum Front Setback from a public or private street that is not providing direct vehicular access to homes shall be 10 feet</i>		
<i>(3) Attached side setbacks shall be 0 feet, whereas building separation shall be a minimum of 10 feet</i>		
<i>(4) Where a minimum 10 foot wide landscape tract is provided, the typical side setbacks, rather than Street Side setback applies</i>		

Table 1-3 Development Standards		
Single Family District Pocket Neighborhood 1A – Condominium Plat		
		Proposed Development Standards
Standard		Pocket Neighborhood 1A “PN-1A”- Condominium Plat
Lot Standards		
Minimum Lot Area (sq ft)		N/A
Minimum Lot Width (ft)		N/A
Minimum Lot Depth (ft)		N/A
Building Form and Location		
Maximum Height (ft)		30
Maximum Building Coverage		100%
Minimum Setbacks (ft)		
	Front (1)(2)	5
	Front facing garage	N/A
	Side	0 (3)
	Total both sides	0 /5(3)
	Street Side (4)	10
	Rear	5
Development Standards		
Open Space % (of net area)		N/A
(1) Front setback shall be measured to covered patios, covered porches, livable space, and/or side entry garages		
(2) Minimum Front Setback from a public or private street that is not providing direct vehicular access to homes shall be 10 feet		
(3) Attached side setbacks shall be 0 feet, whereas building separation shall be a minimum of 10 feet		
(4) Where a minimum 10 foot wide landscape tract is provided, the typical side setbacks, rather than Street Side setback applies		

B. Additional standards set forth in Section 1-2-7 (Supplemental Standards Applicable to All Residential Districts)

C. The following requirements apply in all Single Family districts:

a. Open Space Requirements. Minimum open space shall be provided as listed in Table 1-2.

b. Parks. A portion of the required open space shall be provided as park space or useable open space for recreation purposes. Facilities such as, but not limited to, pools and clubhouses can be counted toward useable open space. The following useable open space shall be provided:

i. For complete developments less than 40 residential acres in size, 55% of required open space shall be useable open space. Phasing a larger project into 40 acre or less in order to avoid providing the neighborhood parks required for developments larger than 40 acres is not permitted.

ii. For developments that are 40 residential acres in size or larger, the following shall apply. There shall be a 5-acre neighborhood park within a ¼ mile walking distance of all dwelling units. Multiple parks totaling at least 5 acres may be provided in lieu of a single 5-acre park if additional amenities are provided above and beyond those listed in section c and the parks are connected via a system of on or off-street connections. When two parks are provided it is highly encouraged to connect them via off-street trails.

c. Useable Open Space Design Standards. The required useable open space (i.e., neighborhood parks) must meet the following standards:

i. Parking shall be provided to the park either on-street or on-site.

ii. Residents shall not be separated by an arterial or freeway from the neighborhood park.

iii. At least one amenity shall be provided per park, or in age-restricted communities a recreation amenity of similar scope.

iv. Shaded seating areas and walking paths shall be provided.

v. 50% of all neighborhood parks within a square mile shall include active recreation facilities that are fields. If there is only one neighborhood park within the development, it shall include an active recreation facility.

d. Entry Feature: Each project shall have a unique entry feature at its primary entrance to provide individual identity to the development. Entry features are encouraged to be creative and may include elements such as: entrance

paving, distinctive landscaping treatment, planters, special wall treatment, gates and other entry features. e. Perimeter Walls and Lot Fences.

i. Perimeter Walls shall be required along the rear of reverse frontage of single family lots along collector or arterial streets and may be installed elsewhere around the perimeter of a subdivision. Such walls shall be not less than of six (6) feet nor more than eight (8) feet in height and shall be constructed of reliable materials with proven durability. Long, straight, unbroken walls are not permitted. Wall openings shall be provided to allow pedestrian access to adjacent commercial, open space, trail, school, and similar amenities.

ii. Perimeter Lot Fences if provided, shall be not less than five (5) feet nor more than six (6) feet in height and shall be constructed of slump block, masonry, or wrought iron except for sections of Perimeter Lot Fences that are part of Perimeter Wall along the reverse frontage of single family lots along collector or arterial streets, in which case, the requirements for a Perimeter Wall set forth above shall apply.

SECTION 1-2-4 SINGLE FAMILY—ADDITIONAL USE DEFINITIONS AND REGULATIONS

a. HOME BUSINESS. A home-based business shall be conducted entirely and unobtrusively within the principal residence including an attached garage, and shall not generate pedestrian or vehicular traffic beyond that normal to the district in which it is located and shall comply with the following.

a. There shall be no buildings or structures other than those permitted in the district.

b. No offensive noise, vibration, smoke, dust, odors, heat, or glare, shall be produced or caused by the business or the nature of the business.

c. Parking for the business shall be in driveway or garage only

d. Activity shall be limited to the hours between 7:00 A.M. and 10:00 P.M.

e. The home business shall obtain and maintain an annual business registration permit as required by City of Goodyear Code

f. Shall not occupy more than twenty-five (25) percent of the living area

b. ASSISTED LIVING HOMES. An application for an assisted living home must be submitted, reviewed and approved by the Development Services Director

(formerly known as the Community Development Director) or his designee prior to a Zoning Clearance being signed from the City;

- a. A minimum separation distance of 1,320 feet, one-quarter (1/4) mile for all assisted living homes with greater than six (6) residents, from another assisted living home with greater than six (6) residents, unless a Use Permit is approved by the City Council.
- b. Vehicles belonging to employees and residents are required to park onsite, in the garage or on an approved driveway.
- c. Deliveries or routine stops (exclusive of visitors) specific to a group home shall be restricted to day light hours only.
- d. The assisted living home shall obtain and maintain an annual business registration permit as required by City Code.
- e. The Development Services Director, or his designee, shall have the right to review, provide corrective action and if necessary, revoke any approval of an assisted living home if it is found to be endangering the public health, welfare, or safety of the surrounding community.
- f. The assisted living home shall meet all requirements of the prevailing City of Goodyear Building and Fire Codes to be determined by the Chief Building Official and the Fire Chief, or their designees.
- g. The assisted living home shall obtain and keep current all necessary licenses and certifications from the Arizona Department of Health Services and/or any other state agency responsible for licensing assisted living homes.

Section 1-2-5 - Multi-Family Residential Zone Pocket Neighborhood 2A DEVELOPMENT OPTION

DEVELOPMENT STANDARDS FOR THE MULTI-FAMILY POCKET NEIGHBORHOOD-2A

Table 1-2-5 prescribes the development standards for Multi-Family Residential District Pocket Neighborhood 2A "PN-2A".

Additional development standards for multi-family residential districts follow this table.

Table 1-2-5 MULTI-FAMILY RESIDENTIAL DISTRICT PN-2A	
Districts	PN-2A
Minimum Net Site Area	10,000, first two units; +2,222 sq.ft. additional units
Maximum Density (dwelling units per acre)	12
Minimum Parcel Width	200 ft.
Minimum Parcel Depth	N/A
Maximum Height (ft.)	30
Accessory Building (ft.)	12
Maximum Building coverage	50%
Minimum Perimeter Setbacks	
Front (ft.)	10
Total Both Sides (ft.)	20
Street Side (ft.)	10
Recreational O/S (sf. ft./d.u.)	400

The following development standards apply to Multi-Family Residential District PN-2A:

A. All uses, are subject to Site Plan review.

B. Open Space requirements:

a. Recreational open space is that portion of a project site not divided into individual lots and made available to residents for the purpose of outdoor living space for residents and may include lawn areas, walkways, sitting areas, courtyards, pools, and outdoor recreation facilities. Buildings, structures, or other impervious surfaces devoted to recreation or common open space uses shall be considered as open space. This space shall be the central focus of the project and must be easily accessible by the occupants. Driveways, parking areas, and required yard areas shall not be considered as outdoor living area.

b. Private outdoor space is that portion of the unit or lot devoted to outdoor recreational use by the individual resident(s) of the unit or lot. This area is provided in addition to the recreational open space. Private outdoor space shall be provided in the form of private yards, porches, patios, or balconies. Porches, Patios or balconies shall be a minimum size of sixty (60) square feet per unit and a minimum dimension of six (6) feet.

c. Required yards and landscaping setback areas fronting onto public streets shall be entirely landscaped except for necessary driveways and walkways.

d. No more than fifty (50) percent of the required front yard landscaped area or any other street frontage area may be used for storm water retention purposes. The maximum side slope ratio shall be 4:1 ratio.

C. Building Separation:

a. The following shall apply for multi-family projects that include two (2) or more related buildings in which the buildings have a common entrance, such as apartment complexes. The minimum distance between the principle entrance of one building and any other buildings shall be according to the following schedule:

Building Height	Minimum Yard Dimension
1 story	20 feet
2 story	30 feet

b. Except as provided above, the minimum separation between buildings on a multifamily site shall be ten (10) feet.

D. Relationship of Project to Surrounding Land Uses:

The relationship between a multi-family project and adjacent land uses shall take into account the type of adjacent uses, building scale, density, and building heights. Particular sensitivity shall be displayed to the relationship between a multi-family project and adjacent residential uses of lesser density to minimize the impact on those less dense areas.

a. Multi-family buildings three (3) stories in height or greater shall not be placed within seventy-five (75) feet of single family residential area or zoning district.

b. Individual design situations may dictate additional conditions or considerations to minimize the impact of a multi-family development on adjacent residential uses through the imposition of one or more of the following design considerations:

- (1) use of one-story buildings;
- (2) additional landscaping to serve as buffer area;
- (3) wider setbacks from property line;
- (4) modify orientation of buildings;
- (5) modify the orientation of windows and balconies;
- (6) provide screen walls

c. Common recreation facilities in a project shall be located to minimize the intrusion of noise on adjacent residential areas.

d. Pedestrian and visual linkages shall be made between a project and off-site amenities.

e. The project shall be designed to minimize negative traffic impacts on the surrounding uses.

E. Building Design: The following elements of design shall be considered and encouraged in the architecture of multi-family buildings (definition a.):

a. The residential scale and character of a project should be emphasized. The mass of the building can be reduced by varying setbacks and building heights or by angular orientation of buildings.

b. In multi-family developments:

- (1) The architectural detailing and treatment of windows and doorways should be strongly considered through the use of clerestory windows, arched shapes, bay windows, recessed windows, raised borders, awnings, shutters, and trellises
- (2) The individuality and privacy of units should be emphasized through the use of private and semi-private entry ways. Long, narrow passageways or corridors lined with entrances are strongly discouraged.
- (3) Entryways and stairwells should be an integral part of the building design. Consideration should be given to screening stairwells or using unique architectural treatments so that they blend in with the overall building elevation.

c. In all such projects:

- (1) Patio walls and fences should be an integral part of building design and should match the main building design.
- (2) All units or buildings housing common facilities on lots abutting or within fifty (50) feet from arterial streets should be a single story high.

SECTION 1-2-7 SUPPLEMENTAL STANDARDS APPLICABLE TO ALL SINGLE FAMILY RESIDENTIAL, AND MULTI-FAMILY RESIDENTIAL DISTRICTS

The following standards apply to all single family residential and multi-family residential districts:

- A. The undergrounding of all utilities less than 69kV within and abutting the proposed development shall be completed prior to issuance of construction permits for the applicable phase of development.
- B. Dedication of any necessary easements and rights-of-way, in form and substance acceptable to the City, prior to approval of any Site Plans or issuance of any construction permits on the rezoned land.
- C. Separation of any production crops on ground owned by the property owner for whom the rezoning is sought or such owners and successors on the property herein zoned by not less than fifty (50) feet from occupied dwelling units, if applicable.
- D. Use Permit uses shall comply with the regulations, standards and requirements in Article 4 of the Zoning Ordinance, and all Use Permit uses are subject to Site Plan review.
- E. Parking Regulations, Standards and Requirements in Article 6 of the Zoning Ordinance; except as expressly modified in this document.
- F. Landscaping, Walls, Screening, Pools and Property Improvement Regulations, Standards, and Requirements in Article 5 of the City of Goodyear Zoning Ordinance.
- G. Sign Regulations, Standards and Requirements in Article 7 of the Zoning Ordinance; except as expressly modified in this document.
- H. Regulations, Standards, and Requirements and in Article 8 of the Zoning Ordinance.
- I. Temporary office and/or construction sheds and storage incidental to a construction projects are permitted and shall be removed upon completion or abandonment of construction work.

J. Landscaping is required to be installed in accordance with City standards within collector or arterial rights-of-way.

K. Each subdivision shall establish a Property Owner's Association and a Board of Directors to administer and enforce required covenants, conditions, and restrictions and to oversee the operation of common facilities.

SECTION 2.0 – DeROSIER RANCH COMMERCIAL PAD DEVELOPMENT STANDARDS

General retail, service and office use is provided for in the DeRosier Ranch Commercial District, as well as encouragement of major, master planned retail shopping centers to respond to community and regional area demand for goods and services. Combined, multiple-use developments with shared access, parking, design themes and amenities are particularly intended.

A. PRINCIPAL PERMITTED USES. Only listed use of structures or land shall be permitted.

1. Automotive repair and upholstery.
2. Banks and financial institutions, excluding non-chartered financial institutions.
3. Bus terminals.
4. Business and professional offices.
5. Carpet and rug cleaning services.
6. Bar/cocktail lounge subject to the following conditions or limitations:
 - a) Live music or entertainment shall only be allowed as an accessory use if the facility is located a minimum of one hundred feet (100') from the property line of any residentially zoned or designated property. The area within the facility designated for music or entertainment activities shall not exceed 7,500 square feet. All noise generated by live music or entertainment activities shall be fully contained within the indoor space occupied by the bar/cocktail lounge.
 - b) The area devoted to patron dancing shall not exceed twenty-five percent (25%) of the total floor area.
7. Costume rentals.
8. Day care (elderly and youth).
9. Drive-through windows and outdoor teller facilities.
10. Employment agency.
11. Entertainment establishments, general, including: athletic facilities, bowling alleys, electronic game centers and arcades, ice and roller rinks, miniature golf, performing arts centers, pool halls and theaters.
12. Fine arts studios.
13. Frozen food lockers
14. Funeral home.
15. Fur cleaning and storage.
16. Health club.
17. Hospital supplies.
18. Hotels and motels.

19. Key and lock service.
20. Large Retail User, subject to the provisions of Article 4-2-7 of the City of Goodyear Zoning Ordinance.
21. Parking lots.
22. Pawn shop.
23. Personal and household services, such as barber and hair styling shops, beauty salons, clothing alterations, dry cleaning shops, furniture and appliance repair, copying services, self-service laundry, shoe repair shops (but excluding drive-through facilities).
24. Plumbing shop.
25. Private business, professional, and trade schools.
26. Public utility facilities and offices including facilities to serve the immediate area, but not including outside storage or maintenance yards for public utility use.
27. Restaurant, excluding drive-in and drive-through facilities, subject to the following conditions or limitations: a) Live music or entertainment shall only be allowed as an accessory use if the facility is located a minimum of one hundred feet (100') from the property line of any residentially zoned or designated property. The area within the facility designated for music or entertainment activities shall not exceed 7,500 square feet. All noise generated by live music or entertainment activities shall be fully contained within the indoor space occupied by the restaurant. b) The area devoted to patron dancing shall not exceed twenty-five percent (25%) of the total floor area.
28. Retail stores with sales only, excluding drive-through facilities and convenience uses as defined in Article 4 of the City of Goodyear Zoning Ordinance.
29. Second hand stores.
30. Seed and feed, retail and sales office.
31. Sign painting shop.
32. Taxidermist.
33. Travel bureaus.
34. Typewriter and business machine sales and repair.
35. Window glass installation shops.
36. Veterinary Offices, provided such facilities are constructed to prevent objectionable noises and odors outside the walls of the office. Boarding of animals shall be permitted only for short time periods for the purpose of observation incidental to care.
37. Non-Chartered Financial Institution, subject to the provisions of Article 4-2-8 of the City of Goodyear Zoning Ordinance.
38. Massage Establishment, Tattoo Studio and Body Piercing Studio, subject to the provisions of Article 4-2-10 of the City of Goodyear Zoning Ordinance.

39. Brewpub, subject to the provisions of Article 4-2-15. 43 of the City of Goodyear Zoning Ordinance. Microbrewery, producing 15,000 barrels of beer or less per year.

B. PERMITTED ACCESSORY USES.

1. Uses of land or structures customarily incidental and subordinate to one of the permitted principal uses, unless otherwise excluded.
2. Signs, on-site, as provided in Article 7 of the City of Goodyear Zoning Ordinance.
3. Portable Storage Containers, subject to Article 8-2 of The City of Goodyear Zoning Ordinance.

C. USE PERMIT USES. The following uses may be approved by Use Permit:

1. Automobile service stations, subject to the provisions of Article 4 of the City of Goodyear Zoning Ordinance.
2. Car wash (hand or automatic), subject to the provisions of Article 4 of the City of Goodyear Zoning Ordinance.
3. Convenience use subject to the provisions of Article 4 of the City of Goodyear Zoning Ordinance.
4. Hospitals and related uses.
5. Limited outdoor display of nursery stock, lawn furniture, garden supplies and outdoor accessory items, in conjunction with a primary retail use, when not in conflict with pedestrian and/or traffic movement or established parking areas.
6. Storage buildings consisting of individually rented storage rooms which are independently accessed and locked and are used for dead storage purposes.
7. Mobile home sales.
8. Veterinary Hospitals, provided such facilities are constructed to prevent objectionable noises and odors outside the walls of the office. a. Keeping or boarding of animals shall not occupy more than twenty-five percent of the gross area of the office. (1) There shall be no outdoor kennels or runs. (2) There shall be no direct outside exit from any room containing kennels.

D. DEVELOPMENT REGULATIONS.

1. All uses are subject to Site Plan review.
2. Area, Setback and Height and related requirements shall conform with the standards for the District, as set forth in Commercial Districts standards, Subsection 3-3-6 of the City of Goodyear Zoning Ordinance.
3. Off-Street Parking: Paved, screened parking, which may be covered, subject to setback standards, shall be provided in accord with the requirements of Article 6, Parking and Loading of the City of Goodyear Zoning Ordinance.

4. Landscaping, Walls, Screening: Refer to Article Property Improvements Standards.
5. Supplemental Regulations: Refer to Article 8, General Provisions of the City of Goodyear Zoning Ordinance.

DeRosier Ranch Commercial District Standards

- A. DIMENSION REQUIREMENTS Lot area, height, setback and related standards for the Commercial Districts (including Central Business and Public Facilities Districts) are as follows:

Figure 8

COMMERCIAL DISTRICTS	
Districts	C-2
Minimum Net Site Area	10,000
Minimum Lot Width	150 ft.
Maximum Height	56 ft.
Maximum Lot Coverage	50%
Minimum Setbacks	
Front	20 ft. (2)
Side	N/A (1)
Rear	N/A (1)
Street Side	20 ft. (2)

(1) Buildings with heights in excess of 30 ft. shall provide 1 foot of additional setback for each foot of building height over 30 ft.

B. DEVELOPMENT STANDARDS FOR DeRosier Ranch COMMERCIAL DISTRICT

1. Substantial additions to or remodeling fifty percent (50%) or more of existing buildings shall be subject to Site Plan review.
2. Required yards fronting on a public street shall be entirely landscaped except for driveways and walkways. Parking and maneuvering areas shall not be permitted in required yard fronting on a public street.
3. A mobile home, recreational vehicle, or similar vehicle shall be prohibited as a facility for any commercial use permitted in this Ordinance except construction trailers and offices which are allowed while construction is being conducted on the site, or manufactured buildings that have staff-approved architectural treatments (i.e., stucco).
4. Design Standards shall be submitted by the developer to the City for commercial subdivisions.
5. Commercial uses are restricted to closed buildings, except as permitted with a Use Permit, including storage of materials and supplies, displays, and listings, except automobile service stations, which are allowed as a use.
6. Commercial uses located adjacent to or separated by an alley from any residential use or District shall provide:
 - a. A ten (10) foot wide landscape strip, planted with one (1) tree every (20) linear feet, shall be required along the common property line. Trees must be low water use, as approved by the Arizona Department of Water Resources.
 - b. A six (6) foot solid masonry wall shall be required along the common property line and along interior property lines. An eight (8) foot wall may be required for commercial projects warranting higher screening. Within the front yard setback, a minimum wall height shall be three (3) foot.
 - c. The following minimum building setbacks as determined by the planned building height:

d. Walls which front onto a public street shall be constructed of masonry with stucco, slump block, or brick designed to match the main building on the site.

Commercial Building Height (1)	Minimum Building Setback Adjacent to Any Single- Family or Two-Family Residential Use or District	Minimum Building Setback Adjacent to Any Multi-Family Residential Use or District
20 ft. or less	30 ft.	30 ft.
21 ft. to 30 ft.	50 ft.	50 ft.
Greater than 30 ft.	50 ft. plus 5 feet of additional building setback for each foot of building height over 30 ft. at the point where such additional building height occurs	50 ft.

(1) For the purposes of this section, building height shall be measured exclusive of the height of any architectural elements or parapet walls permitted by Article 8-3, Sections B and C of the City of Goodyear Zoning Ordinance

7. Screening standards shall be observed as follows:

a. All outdoor storage areas for materials, trash, equipment, vehicles or similar items shall be screened from view along all street frontages by a six (6) foot wall constructed of slump block, brick, or masonry with a stucco or mortar wash finish designed to match the main building on the site.

b. All loading, delivery and carwash service bays shall not front onto a public street and shall be screened from public view with at least a six (6) foot wall, constructed of brick, slump block, or masonry with a stucco or mortar wash finish, or a similar finish, designed to match the main building on the site.

c. The storage of materials, trash, equipment, vehicles, or other items within an enclosed storage area should not be substantially visible from adjoining streets or properties.

d. Dismantling, servicing or repairing of vehicles and/or equipment shall be within completely enclosed building or within an area enclosed by brick, block or masonry walls.

- e. All outdoor refuse enclosures shall be located a minimum of 50 feet from any single-family, detached residential zoning district, or a minimum of 30 feet if a 30-foot wide landscape buffer is established and maintained between the enclosure and the single-family, detached residential zoning district along the entire length of the commercially designated property, as measured from the exterior wall of the refuse enclosure to the nearest residential property line.
8. Buildings with metal or steel exteriors shall be architecturally altered through the construction of veneers, facades, or other architectural treatments and installation of landscaping to minimize the extent of metal surfaces visible from the street.
 9. Drive-thru windows shall not face onto a public street. Stacking lanes shall be screened from the street with three (3) foot masonry walls or berms.
 10. All buildings located within a unified, planned development, such as a community or neighborhood commercial center shall be architecturally styled to achieve harmony and continuity of design. Building elevations shall be coordinated with regard to color, texture, materials, finishes, and form.
 11. All lighting shall be screened in a downward direction and directed away from adjacent properties and streets.
 12. Electrical utility, cable TV and all other utility lines for buildings shall be placed underground. Overhead lines are permitted only for 69kV or greater electrical transmission facilities.
 13. Mechanical equipment, whether ground-level or roof mounted, and other fixtures such as, but not limited to, telephones, vending machines and ice machines shall be screened from public view and be so located to be perceived as an integral part of the building.
 14. All four sides of a building shall receive consistent architectural treatment.

SECTION 3.0 – DeROSIER RANCH SIGN ORDINANCE DEVELOPMENT STANDARDS

The City of Goodyear ARTICLE 7 SIGN REGULATIONS will apply except as modified and approved herein.

- B. COMMERCIAL DISTRICTS: Signs within DeRosier Ranch Commercial PAD shall comply with ARTICLE 7 SIGN REGULATIONS with the exception of the following modifications herein.
1. Awning Signs:
 - a. A maximum of 50% percent of the front face area of the awning shall be used for signage.
 2. Canopy Signs:
 - a. A business utilizing an attached or detached canopy (i.e. gasoline service station) may use a portion of its wall sign allocation for a sign on the canopy. However, no canopy sign shall exceed an area of twelve square feet.
 - b. Three canopy signs may be permitted per street frontage. Said signs may extend above the canopy.
 - c. Signs may not be placed on parking canopies.
 3. Directional Signs:
 - a. One sign shall be permitted at each driveway onto a public street and at each major internal intersection.
 - b. The maximum sign copy area shall be twelve square feet.
 - c. The maximum height shall be six feet.
 - d. Directional signs shall not be located within the sight visibility triangle of any driveway.
 4. Directory Signs:
 - a. Signs shall not exceed an area of 36 square feet or height of ten feet.
 - b. One sign shall be permitted for each multi-tenant building onsite.
 - c. Signs shall only be located in pedestrian areas adjacent to the main building entrance.

By way of example commercial signs that duplicate, resemble or meet the design intent of the following signs shall be allowed within DeRosier Ranch PAD.



Monument signs with Historical Significance and reference.





Signs with Historical Precedence shall be allowed.



Signs with Historical Precedence shall be allowed.

SECTION 4.0 – DeRosier Ranch Single Family Design Guidelines

The DeRosier Ranch Single Family Design Guidelines herein will apply.

POCKET NEIGHBORHOODS

The pocket neighborhood concept evolved from the idea of the pocket cluster of home, with a central tenet: to limited number of dwellings (6-12) gathered around a shared commons. When designing the community and a cluster became larger than 6 or 12 homes, another was formed around a separate shared commons and connected by walkways. As more clusters or pocket neighborhoods were formed, that aggregated into the community of DeRosier Ranch.

Our pattern of Human Scale dictated cars and traffic not invade the shared pedestrian space, so the car is “corralled” in lanes and drives that are connected visually and via pedestrian pathway to the commons. The active rooms of the homes, including front porches, face the commons, engaging rather than turning their back to neighbors. There is a layering of public to private space with visual cues and thoughtful use of landscape and hardscape elements, with careful placement of windows to ensure privacy for each dwelling.

Within the pocket neighborhoods at DeRosier Ranch, residents park their cars away from their homes in separated garages. Residents and visitors walk through the shared common area on the way to their destination. This relationship between the car door and front door greatly increases the level of interaction among neighbors and strengthens their bonds. In addition, it “corrals the car” and allows for a more aesthetic and user friendly streetscape. The short walk is not considered a hardship, even in the desert climate. The community-building benefits of the walk through the commons become an overriding element of community.

1. INTENT

The DeRosier Ranch Design Guidelines are intended as a guide to assist residential project designers, property owners and developers in understanding and implementing the DeRosier Ranch goals and established pattern language in order to attain a high quality residential “pocket neighborhood” development. The provisions of these guidelines to all single-family residential pocket neighborhood projects within DeRosier Ranch. The guidelines will be used during the City's development review process as criteria to evaluate projects requiring approval

Design Objectives:

- To maintain a sense of visual continuity within a neighborhood, while also providing variety for visual interest along the street
- To establish a strong sense of connection for each home with the street
- To minimize the visual impacts of garages
- To provide positive open space for the neighborhood
- To provide convenient connections to abutting amenities and services

The ultimate goal of the development review process is to attain the best possible design that contributes to an overall sense of community, facilitates compatibility between diverse types of residential neighborhoods, and embodies the quality and character desired for DeRosier Ranch and Goodyear.

2. APPLICABILITY

All residential DeRosier Ranch PAD development shall comply with the standards as set forth in the DeRosier Ranch Design Guidelines.

3. SINGLE FAMILY DESIGN STANDARDS

A. Single Family Residential Pocket Neighborhood Design

1. Lot and Tract Design

Intent: To establish a framework for creating pocket neighborhoods that are centered on and around common area open space as well as to create appealing design that is visually interesting, invites pedestrian activity, and signals a social connection between residents and the neighborhood.

- (a) The orientation within new pocket neighborhoods is essential to achieve visual diversity and avoid monotony. Corralling the car with garages that access off of “lanes” will be used to eliminate the monotony of garage doors facing the street while providing visual cues to guide residents and guest.
- (b) Clustering homes or using a zero lot line arrangement may be effective methods of achieving a desired density in larger pocket neighborhoods while creating open space opportunities.
- (c) Residential street layouts that incorporate lanes with access to rear garages or separated garages are highly encouraged, especially when lot widths are less than 60 feet.
- (d) No street shall be allowed to terminate on a blank wall or narrow landscape strip (less than 10 feet). Streets should terminate common open space connections.
- (e) Traffic calming devices such as chicanes, roundabouts, landscape islands or medians to reduce the potential speed of traffic are encouraged where a signal or stop sign is not provided, subject to the Engineering Design Standards.



Sidewalks separated from streets by a parkway with trees and landscaping and chicane for traffic calming

- (f) All utilities and ground mounted mechanical equipment shall be placed underground or in a vault, or fully screened

from view through landscaping placement and/or color treatment.

- (g) Corner lots are encouraged to be at least ten (10) feet wider than interior lots to accommodate housing product and street side setbacks.
- (h) Where lots back onto local, collector, or arterial streets, a minimum ten (10) foot landscaped parkway shall be provided, measured from the right-of-way line to the wall.
- (i) Siting of homes that take advantage of appropriate passive solar and wind design techniques so as to achieve an efficiency of energy use is encouraged.
- (j) Provide an appropriate location for the storage of trash receptacles that is fully screened from public view behind a wall or gate. Group or common trash collection areas should be screened behind a wall or gate
- (k) Making some lots wider, and some narrower, than average is encouraged to achieve visual diversity within housing product and can provide different amounts of open area between structures.



*Typical Pocket
Neighborhood
Design*

2. Residential Circulation

- (a) To minimize potential conflict points, four-way street intersections (local to local) are discouraged.
- (b) Developments shall provide pedestrian access to adjacent non-residential areas, including schools and churches. Pedestrian access to schools, shopping, and public transportation should be convenient.



A detached sidewalk “softens” the streetscape and enhances visual interest and safety.

- (c) Parkway/planter strips with detached sidewalks are encouraged on local streets.

3. Useable Open Space and Commons

- (a) Provide open space as an integral feature and include in the framework of all new development.
- (b) The design of improved open space should recognize and incorporate views, climate, solar angles, and the nature of outdoor activities, which could occur in conjunction with the project.
- (c) All open space areas shall incorporate pedestrian connections to adjoining residential uses, public rights-of-way, commercial projects, schools and other compatible land use facilities.
- (d) Locate useable retention areas so they are visible, attractive, and accessible for recreational use. All basins must have adequate street frontage to provide visibility and easy access.
- (e) Design active outdoor recreational opportunities for all ages adjacent to each other to allow a diverse recreational setting and to function as a central activity center.
- (f) Outdoor seating areas, tot lots and other active play equipment shall be covered with shade structures to protect users from the sun and to encourage year-round activity.



Utilizing shade trees to shade outdoor seating areas

- (g) Storm water retention facilities that cannot be utilized as recreational amenities are discouraged. All storm water facilities should be aesthetically pleasing and integrated into the development's open space system.
- (h) A commons or neighborhood park should be placed near the center of the community with opportunities for both active and passive recreation (e.g., tennis, basketball, play area, seating, fountains, gardens, etc.). While this may incorporate a hard surfaced plaza, the emphasis should be on providing a useable green area including shade to encourage year round usage for social interaction, relaxation, recreation and visual relief.



Centrally locate park and community center

- (i) Community gardens are encouraged to promote a sense of community, and foster a sense of pride in the garden and the surrounding area. Community gardens should be provided in appropriate locations.
- (j) Open spaces and recreational areas shall be located so that they can be observed from the front of nearby homes and from the street. Housing should front onto neighborhood parks, commons/open space or when oriented to roadways on "parkways" including a sidewalk and a minimum 6' landscape tract.



Visible and easily accessible open space area

4. Landscaping

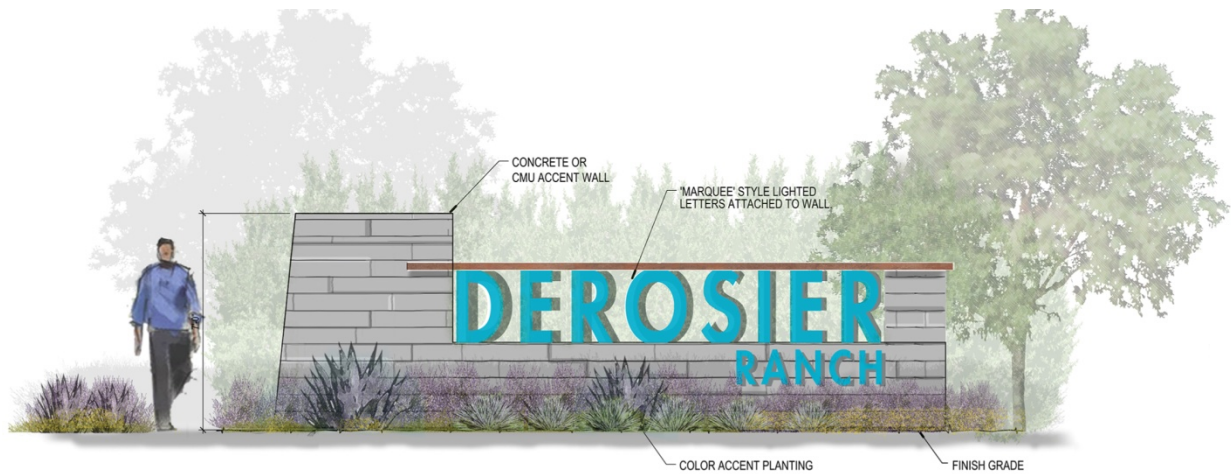
- (a) Home builders are responsible for providing landscaping in all planted areas within the front yards of single-family detached home lots. Production home builders are required to offer at least three (3) significantly different front yard landscape options, one of which shall be a low-water usage xeriscape option.
- (b) A mix of turf areas as well as drought tolerant trees, shrubs and groundcovers should be incorporated in the designs.
- (c) Appropriate shade trees should be utilized to reduce the urban heat island effects.
- (d) Model home complex parking lots shall contain trees and landscaping consistent with the landscape design of the lots that contain the model homes. Landscaping should be used to screen and soften the parking areas and long expanses of privacy walls.

5. Crime Prevention Through Environmental Design

- (a) Front building entrances should be accentuated by architectural elements, lighting and/or landscaping. All front doors that open to the outside should be well lit and visible from the street, parking area or neighboring units.
- (b) Parking areas, pedestrian walkways, and recreation areas should be visible from a multitude of windows and doors.
- (c) Buildings should be sited so that the windows and doors of one unit are visible from another. All four facades should have windows.
- (d) For safety purposes, exterior front doors should be designed with a solid core, peep holes, deadbolt locks and reinforced with strike plates.

6. Community Monumentation, Perimeter Fences and Walls

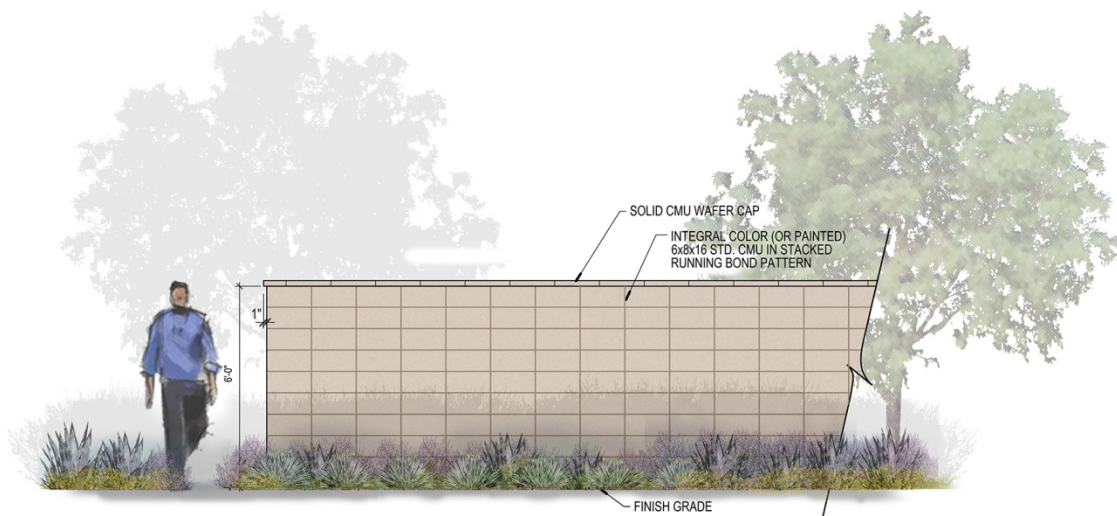
- (a) All open space areas shall incorporate pedestrian connections to adjoining residential, public rights-of-way, commercial projects, schools and other compatible land use facilities.
- (b) Residential pocket neighborhood entries should be designed as integrated features of the overall development and should be marked by entry features, such as decorative paving, fountains, landscaping treatment, planters, special wall treatment, or any other entry features. Similar but smaller entry features should be used to further distinguish residential clusters within a neighborhood.



Conceptual Entry Sign

(c) Water features should be designed in a manner that residents will have the ability to enjoy the cooling effects of the water. Consider summer evaporation loss and water conservation practices when designing and siting water features.

(d) Subdivision perimeter walls shall be constructed using materials that are durable and last over time. Perimeter walls should be architecturally enhanced and should use materials and colors that compliment the project's architecture. Perimeter walls should be designed in such a manner as to create an attractive appearance to the street and to compliment the style and character of the homes and the neighborhood.



Conceptual 6' Wall

- (e) Subdivision perimeter walls shall include pillars with caps, and/or decorative stone. Incorporation of decorative wrought iron, trellises, raised planters, or other artistic features in context with the area are strongly encouraged. Perimeter walls shall incorporate various textures, staggered setbacks, and variations in height in conjunction with landscaping to provide visual interest and to soften the appearance of perimeter walls. Perimeter walls should be broken up by pillars or staggered setbacks approximately every 50 feet.

As an alternative to a perimeter wall, a metal fence may be considered. This will help to provide a sense of connection with the larger neighborhood.

- (f) Chain link fences shall be prohibited, except where authorized in the zoning ordinance.
- (g) Privacy walls visible from the street should be constructed with compatible materials and colors of the homes. Homes adjacent to common open space areas should contain wrought iron grillwork and view fences to provide visual access to open space.
- (h) Walls and fences shall not be used as community barriers to open space. Open space must exhibit some "window" upon the greater neighborhood. "Walled-in" open spaces are not desirable.
- (i) In the front/side portion of each home, a side gate should be constructed on at least one side. Side gates should be a minimum of three feet in width and should be constructed of wood and/or metal.
- (j) Primary--themed entry features are encouraged to use back--lit decorative lighting to enhance walls and signage.

7. Trails/Pathways/Sidewalks

Intent: To provide paths that are safe and inviting for use by pedestrians and bicyclists that facilitates use of public open space

- (a) The minimum width of an open space trail should be 5 feet.
- (b) Decorative theme lighting, accent lighting, or lighted bollards should be placed along walkways within and pedestrian connections to useable open space areas to improve visibility and safety.
- (c) When clustered mailboxes are utilized the structures shall be consistent with the thematic character of the development through the use of common integrative elements such as building material and color palette.

B. Architectural Form

INTENT: To enhance the pedestrian-oriented qualities of a neighborhood by minimizing the visual impacts of garages as seen from the street.

1. Building/Garage Orientation

- (a) Garages should be designed and located to reduce the visual impact of garage doors by being designed and accessed via residential lanes rather than local streets.
- (b) Single-family residential developments shall have a minimum of two enclosed off-street parking spaces per dwelling unit.

2. Architectural Design

Intent: To promote building designs that are energy efficient, and that provide a sense of scale and convey interest to pedestrians; to establish a strong sense of connection for individual homes to the commons and street with porches, clearly defined entries and other design features that provide diversity in character, while maintaining an overall sense of visual continuity for the area

- (a) Energy efficiencies should be incorporated into the design of all new buildings.
- (b) The following measures that promote environmental sensitivity and potential long-term cost savings are offered for consideration:

1. Orient and design new structures to minimize solar gain, reflectivity and glare, and to achieve an optimum level of energy efficiency;
2. Shelter entries and windows and use architectural shading devices and landscaping to minimize cooling losses;
3. Use energy efficient materials in doors and windows;
4. Use energy efficient lighting;
5. Mitigate urban heat island effects with cool roofing materials, shade trees and cool paving materials;
6. Reference national programs for environmentally sensitive development methods such as Leadership in Energy & Environmental Design (LEED), International Energy Conservation Code (IECC) and Energy Star Labeled Buildings; and,
7. Consider the integration of solar panels on roofs.

(c) There is no specific architectural "style" required for residential structures. In general, residential architecture should consider compatibility with surrounding context, including building style, form, size, color, and material.

(d) The entry should be the focal point of the home through the use of roof elements, columns, porticos, recesses or pop-outs, and/or other architectural features. Each front door or entryway shall be clearly visible from the front of the lot. Front doors on the side of the house, whether or not visible from the front of the lot, shall not be allowed.

(e) The front door of the home shall be clearly visible from public view (i.e. from the front portion of the lot)

(f) At least three (3) significantly different architectural styles shall be provided for each floor plan. Elevations shall be structurally different with different roof types facing the street.

- (g) Useable front porches are highly encouraged. Front porches should match the scale and architectural detail of the home.
- (h) Provide a variety of roof forms and ridgelines. Elevations should be structurally different, with different roof types facing the street.
- (i) Deep-set or pop-out windows and doors along with other architectural projections and recesses shall be used to provide individuality of units.
- (j) Courtyard walls a maximum of three feet (3') in height in the front yard (or side yards) adjacent to the driveways areas are encouraged to create useable gathering areas.
- (k) Long, unbroken facades are prohibited. Building masses broken up by stepping back from front and rear minimum setbacks, fenestration or by using similar architectural treatments is encouraged.
- (l) Two-story houses should have a single-story element closest to the front of the house and/or next to the street. If through architectural diversity a housing series creates neighborhood variety, the first story element may be waived by the Community Development Director or designee. Such architectural diversity may include varying front setbacks due to locating the garage to the rear of the lot, adding useable courtyard area and/or using building placement to create private outdoor spaces.
- (m) The height, mass, and appearance of residential units should include some variation to provide visual interest to the streetscape.
- (n) Standard feature stone, brick or other significant accent facade material shall be provided as a standard feature (i.e. not as an option) on at least one (1) elevation for each floor plan available.
- (o) The same standard plan and elevation shall not be built next door to, or across the street from one another (i.e. Plan 1 Elevation A shall not be built next door to, or across the street from Plan 1 Elevation A).

- (p) Homes with the same Plan (i.e. Plan 1 Elevation A, and Plan 1, Elevation B or C) that are proposed to be built next door to, or across the street from one another shall utilize a different paint scheme and roof tile style or color.



Entries should be the focal point through the use of columns or other architectural features.

- (q) The design of accessory structures shall be architecturally similar to the main structure through the use of the same architectural treatment, materials and colors.
- (r) Roof mounted HVAC and evaporative cooler equipment shall be prohibited. All equipment shall be properly screened from public view. Vents and flues should be located to occur on the least prominent side of the ridgeline whenever possible and shall be painted to match the color of the roof.
- (s) All roof pipes, vents, and other roof penetrations and attachments, and equipment shall be configured to have minimal visual impact as seen from the street. Roof penetrations (except chimneys) shall not extend above the ridgeline and shall be painted or architecturally integrated with the roof design and color.

- (t) Utilizing “carriage-style” and other non-conventional sectional garage door styles is recommended to provide additional diversity and to better tie in with architectural themes.
- (u) A useable, covered outdoor patio or porch should be provided on each unit. Covered patio or porch dimensions should be at least 100 square feet, with a minimum interior dimension of eight feet (8’).
- (v) All visible elevations of a side entry garage shall appear as livable area by utilizing windows, wainscot or other design elements compatible with the design of the structure.
- (w) Garage service doors should be provided as standard features to help break up facades.

3. Material and Colors

Intent: To convey a sense of visual continuity within the city, while also expressing the character of distinct neighborhoods, developments and individual building sites. To balance the interaction of key design variables, including materials and colors, that affect continuity and which varies at different levels of design consideration.

- (a) Use materials, color, and other architectural treatments to create visual unity and an identifiable character. Exterior materials and architectural details should complement each other.
- (b) Acceptable exterior building materials include brick, masonry, stucco, adobe, stone and wood. (However, the use of wood as a predominant material is not encouraged.) Durable synthetic products, such as cast stone and fiber cement board may also be considered.
- (c) Use of wood as trim or accent material is encouraged. Wood products should be of sufficient quality and should be substantial in proportion and appearance.
- (d) Acceptable pitched roof materials include clay tile, slate, or flat concrete tile.

- (e) Roof materials should exhibit muted earth tone colors. The roof material palette should contain more than one color to achieve a multicolored appearance throughout the subdivision. A wide variety of roof materials throughout the neighborhood is encouraged.
- (f) Exposed gutters and downspouts should be colored to match fascia or wall material.
- (g) Proposed residential projects should include at least six (6) different color schemes and at least two (2) different tile styles in three (3) different colors.



Colors should be non-reflective.

- (h) Colors shall be non-reflective, muted earth tone colors that recall the hues of the ground plane, surrounding mountains and plant materials. The use of bright and primary colors for base colors is discouraged. (See also Appendix C, "Color," for additional discussion of the application of color.)

C. Solar Panel Design Guidelines (for Single-Family Homes)

INTENT: The following guidelines are to be used in the design and placement of solar panels (i.e. photovoltaic and solar thermal

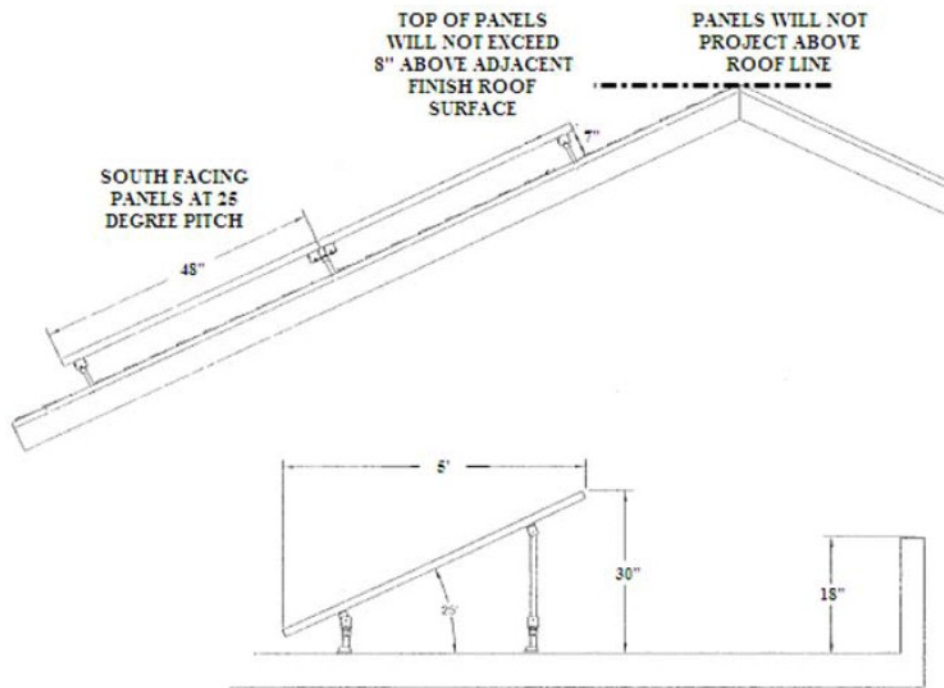
systems) on pitched and flat roofs of single-family homes to ensure a compatible design. With a little forethought and planning, a solar system can be effectively integrated into the design of new and existing residential roofs.



The solar panels shown above are low profile and are parallel with the plane of the pitched roof.

1. South Facing Pitched Roofs (within 45 degrees or west of due south)

- (a) Solar panels should be low profile and parallel with the plane of the pitched roof.
- (b) The top of the panels should not exceed 8 inches above the adjacent finish roofing surface (i.e. tile, shingles, etc.). Panels should not project above the roof ridge line.
- (c) Placement of solar panels should be uniform. Consider the panels as part of the overall roof configuration. Match the shape and proportions of the panels with the shape and proportions of the roof.
- (d) The color of the panel frames and support structure shall be neutral and compatible with the roof surface color(s). Exposed frames and components should have a non-reflective surface.



Two elevation examples showing the preferred design for solar panels

2. North and East/West Facing Pitched Roofs (within 45 degrees of south of east or west)

- (a) Panel tilt angle should not exceed 15 degrees above horizontal plane.
- (b) Height of panels should not exceed 24 inches above the roof surface at any point. Panels should not project above the roof ridge line.



Inappropriate: The solar panels shown above on the pitched roof exceed the maximum allowable height of 24 inches above roof surface at any point.

- (c) Placement of solar panels should be uniform. Consider the panels as part of the overall roof configuration. Match the shape and proportions of the panels with the shape and proportions of the roof.
- (d) The color of the panel frames and support structure shall be neutral and compatible with the roof surface color(s). Exposed frames and components should have a non-reflective surface.

3. Flat Roofs (1/2 Inch or less per foot slope)

- (a) Top of panels should not exceed 30 inches above the adjacent finish roofing surface on flat roofs with or without parapets.
- (b) The placement and height of panels should be uniform. Consider the solar panels as part of the overall roof configuration.
- (c) The color of the panel frames and support structure shall be neutral and compatible with the roof surface color(s). Exposed frames and components should have a non-reflective surface

SECTION 5.0 – DeROSIER RANCH COMMERCIAL / MIXED USE DESIGN GUIDELINES

The City of Goodyear Design Guidelines Chapter 4 Commercial / Mixed Use will apply except as expressly modified herein.

A. SITE LAYOUT

(4) Within the DeRosier Ranch commercial development the creation of a “square” with buildings surrounding that focus on local food & beverage of multiple scales is encouraged. The businesses ranging from a small coffee vendor cart to a distillery to a bar/restaurant; small to mid-range retail; two-story office buildings and live/work units are all encouraged. (Chapter 4: Page 3 of 57)

~~(9) Office buildings should be placed at the minimum required front setback. Buildings may be placed further behind the front setback, but only limited parking shall be permitted to occur between the front of the building and the street. (Chapter 4: Page 5 of 57)~~

E. PROJECT ENTRIES

(4) To foster a strong “sense of entry”, the **PEDESTIRAN SYSTEMS** should be aligned with a prominent building on-site or some other strong focal point of interest. (Chapter 4: Page 13 of 57)

3. ARCHITECTURAL STANDARDS

Intent: To establish an overall sense of relatedness with Goodyear, while also conveying the identity of each center and individual buildings within it; to provide buildings that have a human scale, are visually interesting and that invite pedestrian activity

A. Design Theme

(1) Energy efficiencies should be incorporated into the design of all new buildings.

(2) Architectural diversity with an agrarian theme where building form and materials recall the agrarian theme and history of the site are encouraged.

(3) A commercial complex shall establish and maintain a diverse architectural style with individual buildings designed with complementary forms and materials that draw from the agrarian history of the site.

(Chapter 4: Page 31 of 57)

D. ROOF PLANS

(1) Roof forms should be based on forms and elements historically found in agrarian settings. These forms may include various shapes and sizes and should be designed in context and in relation to adjacent roof forms within the project.

(Chapter 4: Page 36 of 57)

SECTION 6.0 – DeROSIER RANCH PARKING STANDARDS

Parking Regulations, Standards and Requirements in Article 6 of the Zoning Ordinance; except as expressly modified in this document.

Section 6-3-2 Parking Standards for Single Family, Two Family and Manufactured Home Residential Uses

A. PARKING SPACE LOCATION

1. No motor vehicle shall be parked in a front yard, except on an authorized driveway.
2. No part of any vehicle parked in the front yard of a single family or two family residential lot shall extend over the public or private sidewalk, or street curb where no sidewalk exists; nor shall any such vehicle be parked within the area formed by a ten by ten (10 x 10) foot triangle as measured from the point of intersection of the back of the sidewalk, or street curb where no sidewalk exists, and a side property line extended to the back of the sidewalk, or street curb where no sidewalk exists, when such side property line is within five (5) feet of a driveway or an improved parking surface located on an adjacent lot.

B. ENCLOSED PARKING SPACE DIMENSIONS

1. The number of required parking spaces for all residential uses is identified in Section 6-4-2. Required enclosed parking spaces may be either side-by-side or tandem for single family and two family residential uses. Side-by-side enclosed parking areas shall at a minimum measure eighteen (18) feet wide by twenty (20) feet deep with no obstructions. Enclosed tandem spaces shall at a minimum measure nine (9) feet wide by thirty-eight (38) feet deep with no obstructions.

C. CREDIT FOR ON-STREET PARKING. On-street parking that directly and wholly abuts the residential parcel may be counted towards the parking requirement, provided that:

1. Such spaces are clearly marked on the site plan or plat and constructed in accordance with City standards.

2. Such spaces are publicly accessible and cannot be reserved or restricted by the owner or tenants of the property.
3. On-street parking on private streets may be counted towards required parking provided that the street is publicly accessible (not gated) and the streets, parking spaces and sidewalks constructed are consistent with the standards for public streets in the City.

DeRosier Ranch

goodyear, arizona

DEVELOPMENT STANDARDS

EXHIBIT - A
Zoning Plan

SITE DATA OVERALL

DeRosier Ranch
Pocket Neighborhood
Residential PAD
"DRPNR-PAD" ZONED
31.51 AC

DeRosier Ranch
Commercial PAD
"DRC-PAD" ZONED
14.0 AC

TOTAL GROSS ACRES
45.51 AC



urbanfabric
BUILDERS

HADLEY
DESIGN

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SCALE: 1"=200' DATE: 26.JUNE.18
2nd REVISION DATE: 14.DECEMBER.18
3rd REVISION DATE: 20.FEBRUARY.19
Case No.18-210-00005

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