

LEGAL DESCRIPTION

PARCEL NO. 1:

BEING A PORTION OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 NORTH, RANGE 2 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SECTION 22,

THENCE NORTH 00 DEGREES 08 MINUTES 39 SECONDS EAST ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER, 1794.14 FEET TO THE POINT OF BEGINNING,

THENCE CONTINUING NORTH 00 DEGREES 08 MINUTES 39 SECONDS EAST ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER, 840.63 FEET TO THE NORTHWEST CORNER OF SAID SOUTHWEST QUARTER,

THENCE NORTH 89 DEGREES 55 MINUTES 03 SECONDS EAST, ALONG SAID NORTH LINE, 1328.46 FEET TO A POINT ON THE EAST LINE OF THE WEST 1328.45 FEET OF SAID SOUTHWEST QUARTER,

THENCE SOUTH 00 DEGREES 08 MINUTES 39 SECONDS WEST ALONG SAID EAST LINE, 840.63 FEET,

THENCE SOUTH 89 DEGREES 55 MINUTES 03 SECONDS WEST, 1328.46 FEET TO THE POINT OF BEGINNING.

PARCEL NO. 2:

THAT PORTION OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 NORTH, RANGE 2 WEST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 22,

THENCE NORTH 00 DEGREES 08 MINUTES 39 SECONDS EAST ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER, 949.12 FEET TO THE POINT OF BEGINNING,

THENCE CONTINUING NORTH 00 DEGREES 08 MINUTES 39 SECONDS EAST ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER, 845.02 FEET,

THENCE NORTH 89 DEGREES 55 MINUTES 03 SECONDS EAST, 1328.46 FEET, TO A POINT ON THE EAST LINE OF THE WEST 1328.45 FEET OF SAID SOUTHWEST QUARTER,

THENCE SOUTH 00 DEGREES 08 MINUTES 39 SECONDS WEST ALONG SAID EAST LINE, 845.02 FEET,

THENCE SOUTH 89 DEGREES 55 MINUTES 03 SECONDS WEST, 1328.46 FEET TO THE POINT OF BEGINNING,

EXCEPT THAT PORTION LYING WITHIN THE PROPERTY DESCRIBED IN INSTRUMENT RECORDED IN BOOK 161 OF DEEDS, PAGE 360, RECORDS OF MARICOPA COUNTY, ARIZONA.

PARCEL NO. 3:

THAT PORTION OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 NORTH, RANGE 2 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID SECTION 22,

THENCE NORTH 00 DEGREES 08 MINUTES 39 SECONDS EAST ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER, 949.12 FEET,

THENCE NORTH 89 DEGREES 55 MINUTES 03 SECONDS EAST, 1328.46 FEET TO A POINT ON THE EAST LINE OF THE WEST 1328.45 FEET OF SAID SOUTHWEST QUARTER,

THENCE SOUTH 00 DEGREES 08 MINUTES 39 SECONDS WEST ALONG SAID EAST LINE 949.49 FEET TO A POINT ON THE SOUTH LINE OF SAID SOUTHWEST QUARTER,

THENCE SOUTH 89 DEGREES 56 MINUTES 01 SECONDS WEST ALONG SAID SOUTH LINE 1338.46 FEET TO THE POINT OF BEGINNING,

EXCEPT THAT PORTION LYING WITHIN THE PROPERTY CONVEYED TO MARICOPA COUNTY BY DEED RECORDED AS BOOK 161 OF DEEDS, PAGE 360, RECORDS OF MARICOPA COUNTY, ARIZONA.

PARCEL NO. 4:

BEGINNING AT THE NORTH QUARTER CORNER OF SECTION 22, TOWNSHIP 1 NORTH, RANGE 2 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA,

THENCE SOUTH 00 DEGREES 01 MINUTES 49 SECONDS EAST, A DISTANCE OF 1359.12 FEET, TO THE TRUE POINT OF BEGINNING,

THENCE SOUTH 00 DEGREES 01 MINUTES 49 SECONDS EAST, A DISTANCE OF 1285.54 FEET,

THENCE NORTH 89 DEGREES 56 MINUTES 54 SECONDS WEST, A DISTANCE OF 1321.81 FEET,

THENCE NORTH 00 DEGREES 01 MINUTES 25 SECONDS WEST, A DISTANCE OF 1290.50 FEET,

THENCE SOUTH 89 DEGREES 44 MINUTES 00 SECONDS EAST, A DISTANCE OF 1321.67 FEET TO THE TRUE POINT OF BEGINNING.

PARCEL NO. 5:

THE EAST HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER,

THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER, AND

THE WEST HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 NORTH, RANGE 2 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, AND

THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 NORTH, RANGE 2 WEST OF THE GILA AND SALT RIVER BSE AND MERIDIAN, MARICOPA COUNTY, ARIZONA,

EXCEPT THE FOLLOWING DESCRIBED PROPERTY:

BEGINNING AT A POINT 33 FEET EAST OF THE SOUTHWEST CORNER OF SAID SECTION 22, THENCE NORTH, PARALLEL TO THE WEST LINE OF SECTION 22, 1305 FEET, MORE OR LESS, TO THE NORTH LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 22,

THENCE EAST ALONG SAID NORTH LINE 6 FEET, THENCE IN A SOUTHEASTERN DIRECTION ALONG A 2967 FOOT RADIUS CURVE TO THE LEFT 190 FEET, MORE OR LESS,

THENCE IN A SOUTHEASTERN DIRECTION 545 FEET,

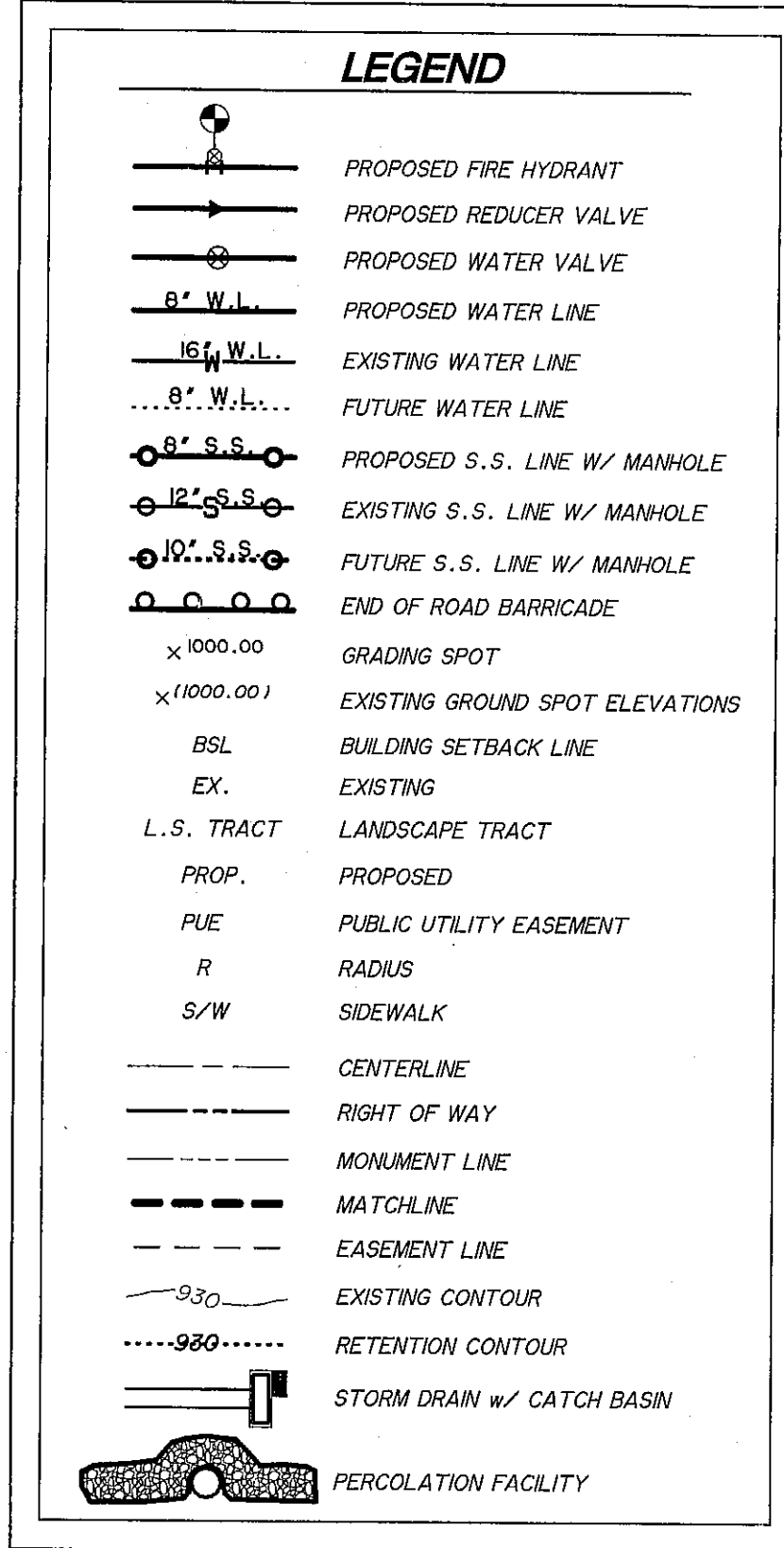
THENCE ON A 3033 FOOT RADIUS CURVE TO THE RIGHT 383 FEET, MORE OR LESS,

THENCE SOUTH 191 FEET TO A POINT ON THE SOUTH LINE OF SAID SECTION 22, LYING 155 FEET EAST OF THE SOUTHWEST CORNER OF SECTION 22,

THENCE WESTERLY ALONG THE SOUTH LINE OF SAID SECTION, A DISTANCE OF 155 FEET TO A POINT OF BEGINNING, CONVEYED TO MARICOPA COUNTY BY DEED RECORDED AS BOOK 161 OF DEEDS, PAGE 360, AND

EXCEPT ANY PART THEREOF LYING IN SALT RIVER ACRES, ACCORDING TO BOOK 23 OF MAPS, PAGE 19, RECORDS OF MARICOPA COUNTY, ARIZONA, AND

EXCEPT THAT PORTION LYING WITHIN THE WEST 1328.45 FEET OF THE SOUTHWEST QUARTER OF SAID SECTION 22.



PARCEL NO. 6:

PARCEL A:

THE NORTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER, AND THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 NORTH, RANGE 2 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA,

EXCEPTING THEREFROM THAT PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 NORTH, RANGE 2 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 22,

THENCE ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER, SOUTH 00 DEGREES 02 MINUTES 46 SECONDS WEST, 659.70 FEET,

THENCE NORTH 89 DEGREES 55 MINUTES 47 SECONDS WEST, 10.47 FEET,

THENCE NORTH 00 DEGREES 01 MINUTES 59 SECONDS WEST, 635.02 FEET,

THENCE NORTH 88 DEGREES 34 MINUTES 55 SECONDS WEST, 649.55

THENCE NORTH 00 DEGREES 03 MINUTES 49 SECONDS EAST, 7.83 FEET TO A POINT ON THE NORTH LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER,

THENCE ALONG SAID NORTH LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER, SOUTH 89 DEGREES 54 MINUTES 00 SECOND EAST, 660.66 FEET TO THE TRUE POINT OF BEGINNING.

PARCEL B:

THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 NORTH, RANGE 2 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

PARCEL NO. 7:

PARCEL A:

THE NORTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER, AND THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER AND THE EAST HALF OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER, AND THE EAST 6 2/3 ACRES OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER, ALL IN SECTION 22, TOWNSHIP 1 NORTH, RANGE 2 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA,

EXCEPT THE EAST 215 FEET OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 22.

PARCEL B:

THE SOUTH 25 FEET OF THE NORTH 45 FEET OF THE WEST 20 FEET OF THE EAST 45 FEET OF THE EAST 215 FEET OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 NORTH, RANGE 2 WEST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

PARCEL C:

THAT PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 NORTH, RANGE 2 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 22,

THENCE ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER, SOUTH 00 DEGREES 02 MINUTES 46 SECONDS WEST, 659.70 FEET,

THENCE NORTH 89 DEGREES 55 MINUTES 47 SECONDS WEST, 10.47 FEET,

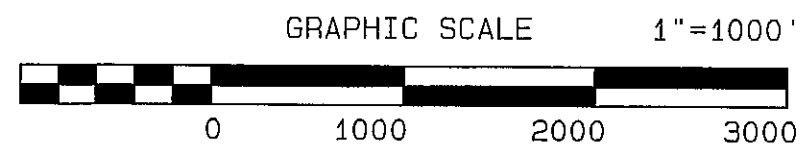
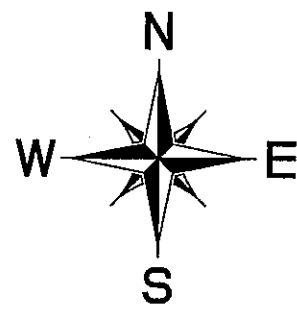
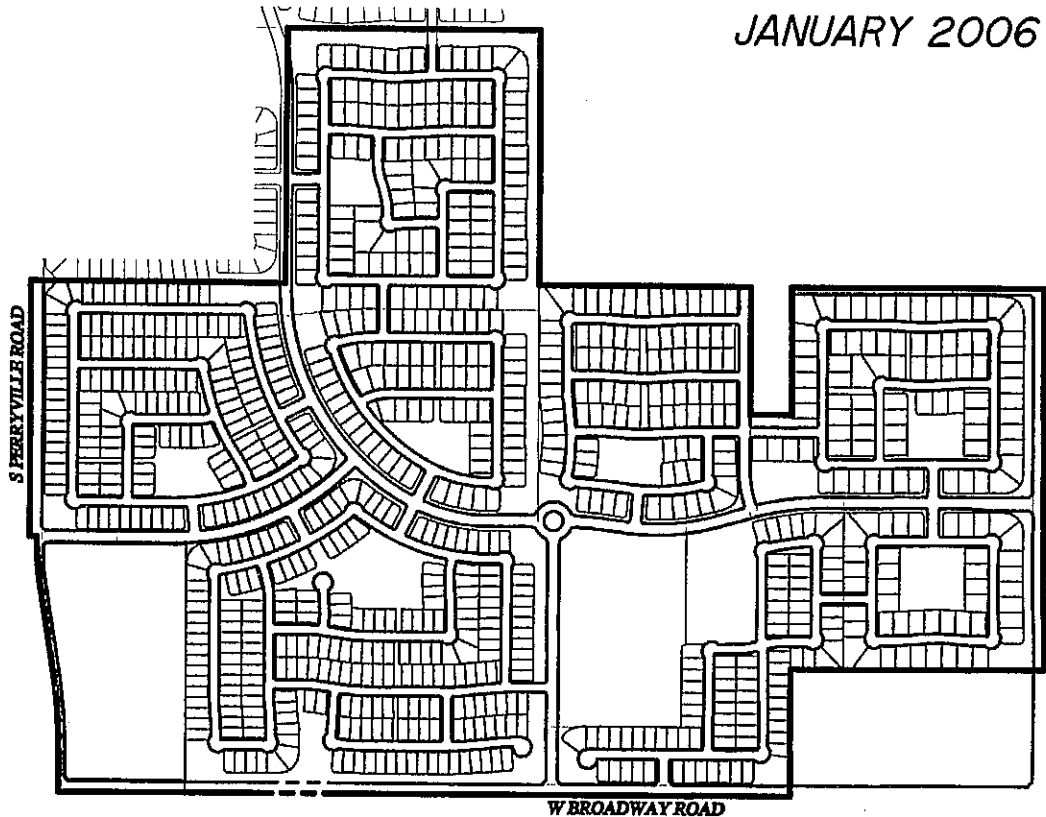
THENCE NORTH 00 DEGREES 01 MINUTES 59 SECONDS WEST, 635.02 FEET,

THENCE NORTH 88 DEGREES 34 MINUTES 55 SECONDS WEST, 649.55 FEET,

THENCE NORTH 00 DEGREES 03 MINUTES 49 SECONDS EAST, 7.83 FEET TO A POINT ON THE NORTH LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 22,

PRELIMINARY PLAT OF LAS BRISAS PHASE TWO

A PORTION OF SECTION 22 AND 23, TOWNSHIP 1 NORTH,
RANGE 2 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN,
CITY OF GOODYEAR, MARICOPA COUNTY, ARIZONA
JANUARY 2006



THENCE ALONG SAID NORTH LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER, SOUTH 89 DEGREES 54 MINUTES 08 SECONDS EAST, 660.66 FEET TO THE POINT OF BEGINNING,

NON-EXCLUSIVE EASEMENT FOR ELECTRICAL, UTILITY SERVICE, ACCESS, MAINTENANCE, DITCHES AND PIPES, AS CREATED IN EASEMENT AND ABANDONMENT AGREEMENT RECORDED AS 98-358501 OF OFFICIAL RECORDS OF MARICOPA COUNTY, ARIZONA, OVER AND ACROSS THAT PROPERTY MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE NORTH 45 FEET OF THE FOLLOWING DESCRIBED PROPERTY:

THENCE EAST 215 FEET OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 NORTH, RANGE 2 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA,

EXCEPTING THEREFROM THE FOLLOWING DESCRIBED PROPERTY:

THE SOUTH 25 FEET OF THE NORTH 45 FEET OF THE WEST 20 FEET OF THE EAST 45 FEET OF THE EAST 215 FEET OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 NORTH, RANGE 2 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

CITY OF GOODYEAR

SEP 1 1 2006

APPROVED BY
CITY COUNCIL
CASE # 05-000001
COAG # 000-4712

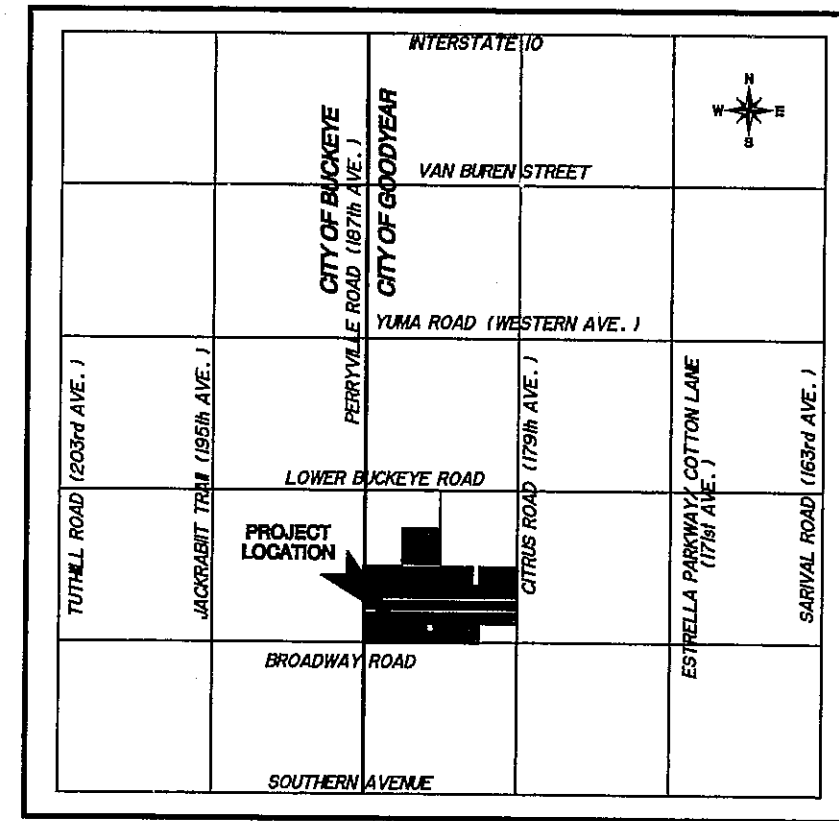
BASIS OF BEARING

THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 NORTH, RANGE 2 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING: S 89° 53' 47" E (MEASURED).

DEVELOPER:

TAYLOR WOODROW

TAYLOR WOODROW HOMES, INC.
6720 NORTH SCOTTSDALE ROAD #390
SCOTTSDALE, AZ 85253
TEL 480 344 7000
FAX 480 344 7001



VICINITY MAP

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RELEASE DATES	
01/09/05	1st SUBMITTAL
06/20/05	2nd SUBMITTAL
06/30/05	P.A.D. SUBMITTAL
10/25/05	2nd P.A.D. SUBMITTAL
12/31/05	FINAL SUBMITTAL



BENCHMARKS

ELEVATION = 936.50 CITY OF GOODYEAR DATUM
BRASS CAP IN HANDHOLE AT THE INTERSECTION OF
LOWER BUCKEYE ROAD AND COTTON LANE.
ELEVATION = 909.79 CITY OF GOODYEAR DATUM
HIGHWAY DEPARTMENT BRASS CAP ON IRRIGATION
STRUCTURE APPROXIMATELY 100 FEET EAST OF THE
INTERSECTION OF COTTON LANE AND COUNTY ROUTE 85.

ENGINEER:

GOODWIN AND
MARSHALL INC.

CIVIL ENGINEERS ~ PLANNERS ~ SURVEYORS

3131 East Camelback, Suite 200
Phoenix, Arizona 85016
(602) 218-7285

GENERAL NOTES

- LAS BRISAS OWNER WILL ACCEPT RESPONSIBILITY FOR MAINTENANCE OF ALL COMMONLY-OWNED ELEMENTS AND LANDSCAPING OF OPEN AREAS, UNTIL SUCH TIME AS THE RESPONSIBILITY IS FORMALLY TURNED OVER TO THE HOMEOWNERS ASSOCIATION.
- ALL PROPOSED DWELLINGS SHALL BE SINGLE FAMILY/DETACHED.
- ALL R.O.W. 8 OPEN SPACE PLANT MATERIALS SHALL BE PER DEPARTMENT OF WATER RESOURCES PLANT LIST AND THE CITY OF GOODYEAR.
- COMMON AREAS SHOWN ON THIS PLAT ARE RESERVED FOR THE PRIVATE USE AND CONVENIENCE OF ALL OWNERS OF PROPERTY WITHIN THIS SUBDIVISION.
- ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND, WITH EXCEPTION TO ANY 69KV ELECTRICAL LINES.
- ALL STREETS SHOWN HEREIN ARE PUBLIC, AND ALL STREET SIGNS AND STREET LIGHTS WILL BE OWNED AND MAINTAINED BY THE CITY OF GOODYEAR.
- DRIVEWAYS ON CORNER LOTS ARE TO BE LOCATED ON THE SIDE OF THE LOT FURTHEST FROM THE STREET INTERSECTION.
- WHERE A CORNER LOT ABUTS A KEY LOT, THE HEIGHT AND LOCATION OF WALLS AND FENCES IN THE YARD FACING THE SIDE STREET MUST CONFORM TO THE FRONT YARD REQUIREMENTS FOR WALLS AND FENCES.
- NO DETACHED ACCESSORY BUILDING SHALL BE LOCATED CLOSER TO THE STREET SIDE OF A CORNER LOT THAN THE FRONT YARD REQUIRED ON A KEY LOT, EXCEPT SUCH SETBACK NEED NOT BE GREATER THAN ONE-HALF (1/2) THE WIDTH OF THE CORNER LOT.
- ADJACENT DWELLING UNITS ARE PROHIBITED FROM HAVING IDENTICAL BUILDING ELEVATIONS AND EXTERIOR COLORS.
- DRIVEWAYS ON KEY LOTS ARE TO BE LOCATED ON THE SIDE OF THE LOT OPPOSITE THE ADJACENT REAR LOT LINE.
- NO STRUCTURES OF ANY KIND SHALL BE CONSTRUCTED OR PLACED WITHIN OR OVER THE UTILITY EASEMENTS EXCEPT UTILITIES, ASPHALT PAVING, GRASS, AND WOOD, WIRE OR REMOVABLE SECTION TYPE FENCING. IT SHALL BE FURTHER UNDERSTOOD THAT THE CITY OF GOODYEAR SHALL NOT BE REQUIRED TO REPLACE ANY OBSTRUCTIONS, PAVING OR PLANTING THAT MUST BE REMOVED DURING THE COURSE OF MAINTENANCE, CONSTRUCTION, OR RECONSTRUCTION.
- NO STRUCTURES OF ANY KIND SHALL BE CONSTRUCTED NOR ANY VEGETATION BE PLANTED OR BE ALLOWED TO GROW WITHIN, ON OR OVER ANY DRAINAGE EASEMENT WHICH WOULD OBSTRUCT OR DIVERT THE FLOW OF STORM WATER, IF IT SO DESIRES, CONSTRUCT OR MAINTAIN DRAINAGE FACILITIES ON OR UNDER THE LAND OF THE DRAINAGE EASEMENT.
- STRUCTURES AND LANDSCAPING WITHIN VISIBILITY EASEMENTS WILL BE LIMITED TO GROUND COVER, FLOWERS AND GRANITE LESS THAN 2 FEET (MATURE) IN HEIGHT AND/OR TREES WITH BRANCHES NOT LESS THAN 6 FEET ABOVE THE GROUND. TREES SHALL NOT BE PLACED LESS THAN 8 FEET APART.
- TWO-STORY HOMES WILL NOT BE PERMITTED ON CORNER LOTS OR ADJACENT TO AN ARTERIAL ROAD.
- BUILDING SETBACKS ARE TO CONFORM TO APPLICABLE ZONING.
- RAMPS WILL BE PROVIDED ON SIDEWALKS PER A.D.A. REQUIREMENTS.
- THIS DEVELOPMENT IS ADJACENT TO AGRICULTURAL USES AND IS THEREFORE SUBJECT TO NOISE, DUST, AND ODORS ASSOCIATED WITH SUCH A USE.
- THE ENTIRE LAS BRISAS PHASE TWO PROJECT IS TO BE FINAL PLATTED AND CONSTRUCTED IN THREE PHASES.
- OPEN SPACE AMENITIES AS SHOWN ARE CONCEPTUAL.
- TYPICAL SIDE STREET TRACTS ARE 10' WIDE.
- ALL OPEN SPACE TRACTS ARE TO BE PRIVATELY OWNED AND MAINTAINED BY THE LAS BRISAS HOA.

PUBLIC UTILITIES

WATER	CITY OF GOODYEAR
SEWER	CITY OF GOODYEAR
ELECTRIC	ARIZONA PUBLIC SERVICE COMPANY
GAS	SOUTHWEST GAS COMPANY
TELEPHONE	QWEST COMMUNICATIONS
SOLID WASTE DISPOSAL	CITY OF GOODYEAR
POLICE PROTECTION	CITY OF GOODYEAR
(AND A PRIVATE PATROL)	CITY OF GOODYEAR
FIRE PROTECTION	CITY OF GOODYEAR
EMERGENCY SERVICES DISPATCH	CITY OF GOODYEAR
CABLE TELEVISION	COX COMMUNICATIONS

NOTE: (IMPROVEMENTS)

- ALL PUBLIC UTILITIES TO BE UNDERGROUND, WITH THE EXCEPTION OF EXISTING 69 KV POWER LINES. ALL STREETS TO BE IMPROVED WITH ASPHALT PAVEMENT AND CONCRETE CURBS AND GUTTER. ALL IMPROVEMENTS TO COMPLY WITH M.A.G. STANDARDS AND SPECIFICATIONS AND/OR CITY OF GOODYEAR STANDARD MODIFICATIONS.
- DEVELOPER OR SUCCESSORS SHALL WARRANTY ALL PUBLIC IMPROVEMENTS CONSTRUCTED WITHIN CITY OF GOODYEAR RIGHTS-OF-WAY AND EASEMENTS FOR A PERIOD OF NOT LESS THAN TWO (2) YEARS FROM THE DATE OF ACCEPTANCE BY THE CITY.

BENCHMARK NOTE:

THE TOPO SHOWN HEREIN HAS BEEN OBTAINED FROM THE FLOOD CONTROL DISTRICT OF MARICOPA COUNTY, AND IS BEING UTILIZED FOR PRELIMINARY PURPOSES ONLY.

PRELIMINARY PLAT PHASE TWO OF LAS BRISAS

A PORTION OF THE NORTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 NORTH,
RANGE 2 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN,
CITY OF GOODYEAR, MARICOPA COUNTY, ARIZONA
JANUARY 2006

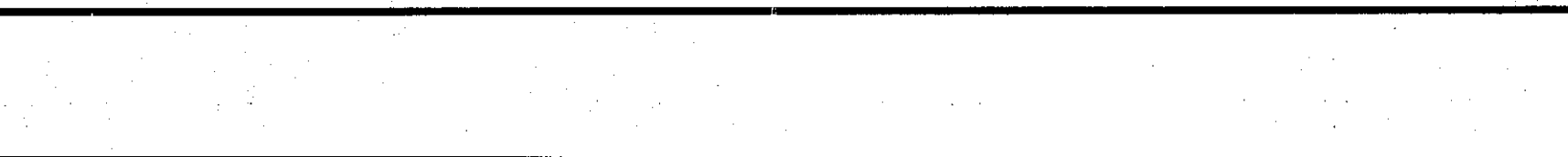
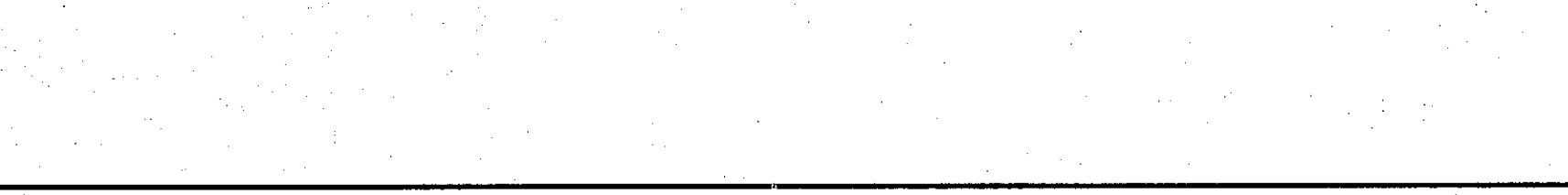
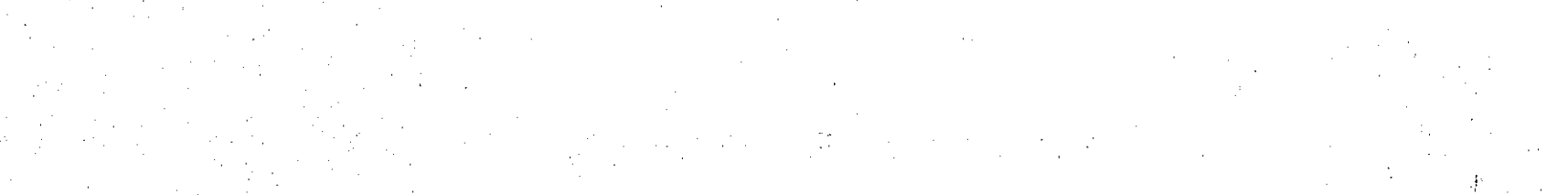
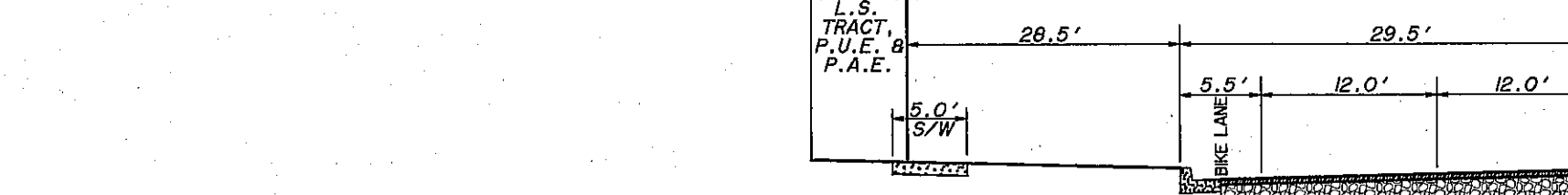
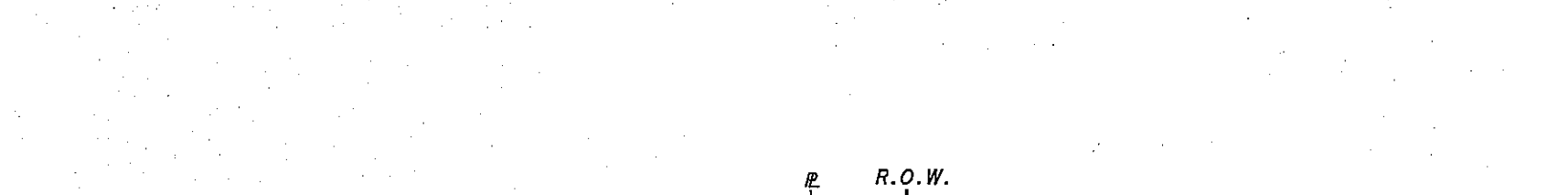
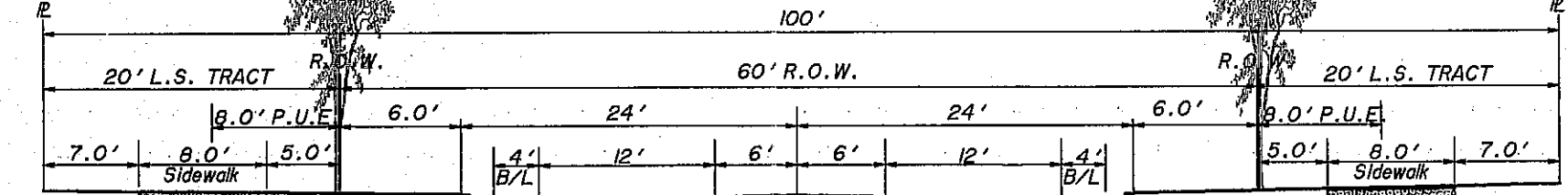
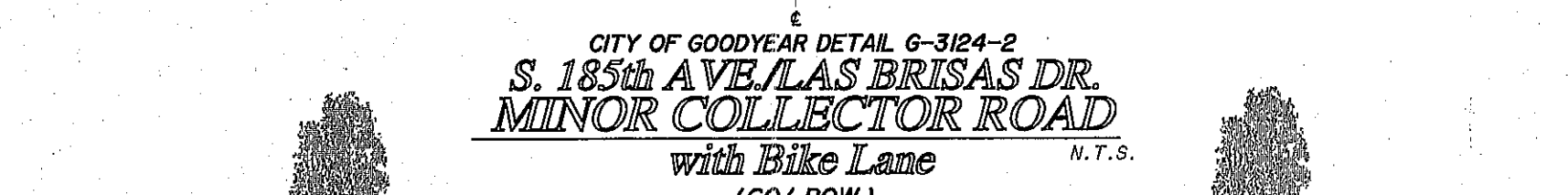
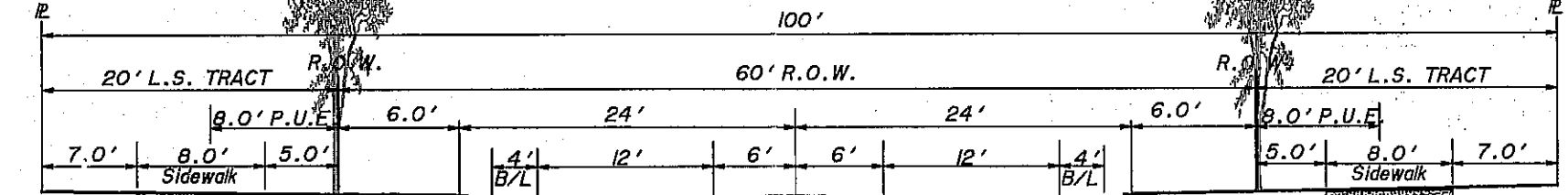
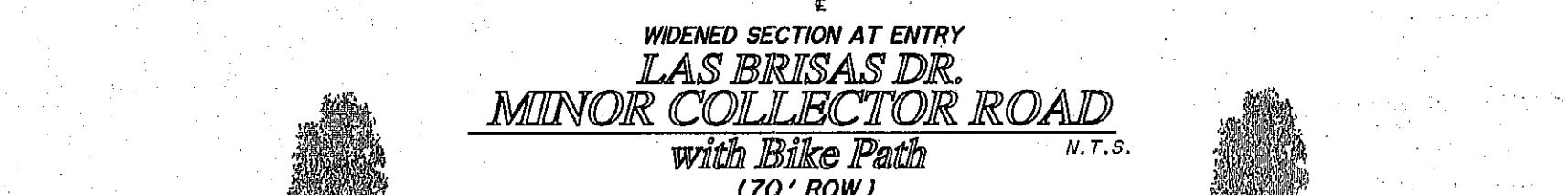
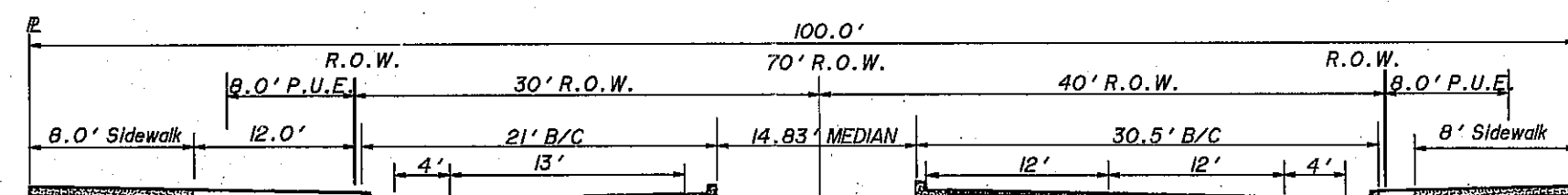
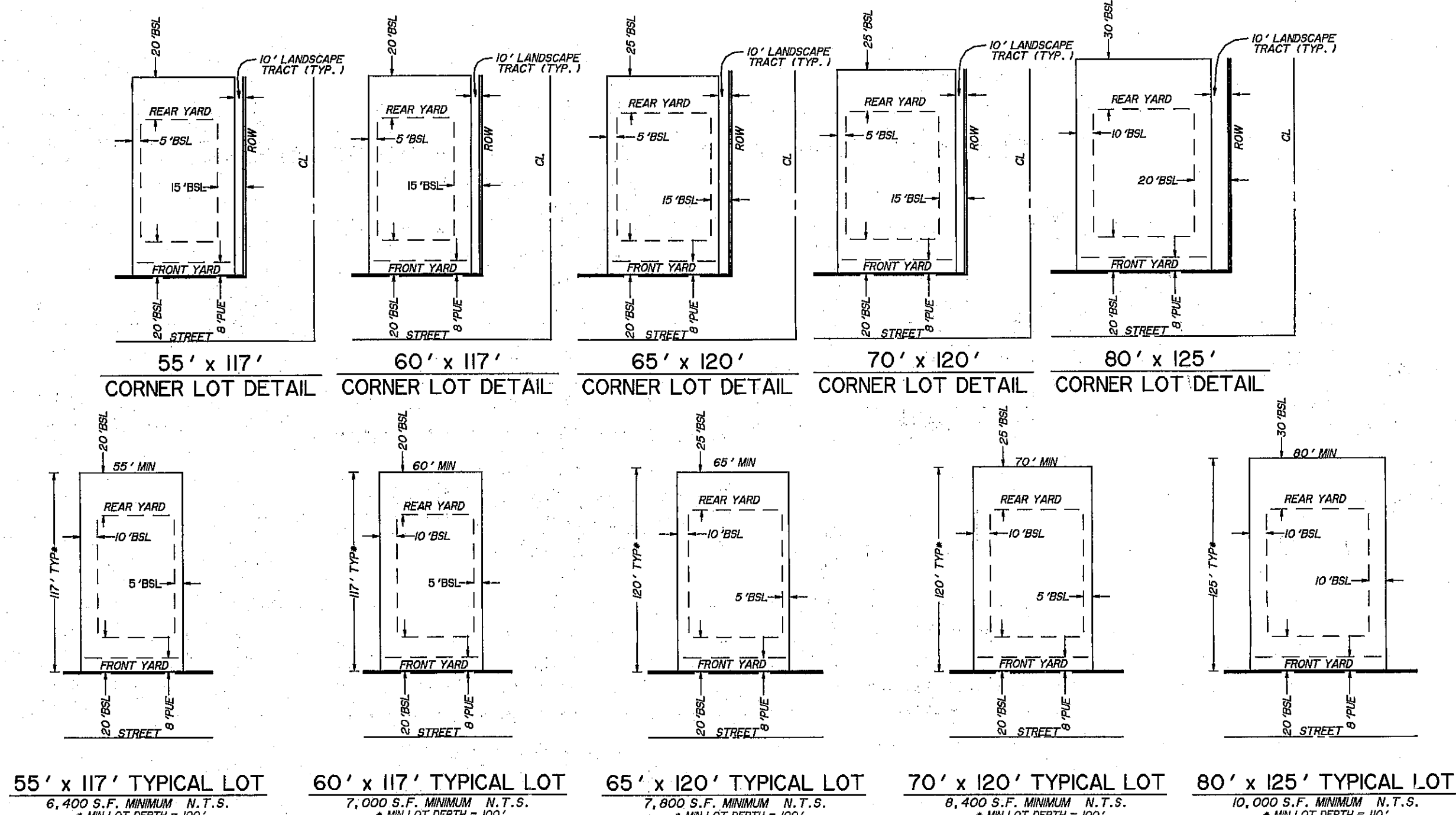
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SHEET 11 OF 20

TRACT USE SUMMARY

TRACT	ACREAGE	LAND USAGE
A	2.40	OPEN/RECREATION/RETENTION
B	7.43	OPEN/RECREATION/RETENTION
C	0.06	OPEN
D	0.05	OPEN
E	0.05	OPEN
F	0.03	OPEN
G	1.47	OPEN/RECREATION/RETENTION
H	0.05	OPEN
J	0.05	OPEN
K	0.06	OPEN
L	0.05	OPEN
M	0.03	OPEN
N	1.96	OPEN/RETENTION
P	0.05	OPEN
Q	0.05	OPEN
R	0.06	OPEN
S	0.19	OPEN
T	2.15	OPEN/RECREATION/RETENTION
U	0.05	OPEN
V	0.03	OPEN
W	1.23	OPEN/RETENTION
X	0.07	OPEN
Y	1.21	OPEN/RETENTION
Z	0.05	OPEN
AA	0.03	OPEN
BB	0.15	OPEN/RETENTION
CC	0.15	OPEN
DD	0.06	OPEN
EE	0.50	OPEN
FF	2.14	OPEN/RECREATION/RETENTION
GG	0.13	OPEN
HH	0.46	OPEN
II	0.03	OPEN/RECREATION/RETENTION
JJ	4.46	OPEN
KK	0.25	OPEN
LL	0.35	OPEN
MM	0.05	OPEN
NN	0.05	OPEN
OO	0.05	OPEN
PP	0.05	OPEN
QQ	0.06	OPEN
RR	2.08	OPEN/RETENTION
SS	5.35	OPEN/RETENTION
TT	0.05	OPEN
UU	0.14	OPEN
VV	0.03	OPEN
WW	0.05	OPEN
XX	0.05	OPEN/RETENTION
YY	0.05	OPEN/RETENTION
ZZ	0.19	OPEN
AB	0.07	OPEN
AC	5.64	OPEN/RECREATION/RETENTION
AD	0.15	OPEN
AE	0.06	OPEN
AF	0.05	OPEN
AG	0.04	OPEN
AH	2.65	OPEN/RECREATION/RETENTION
AJ	0.04	OPEN
AK	1.75	OPEN/RETENTION
AL	1.85	OPEN/RETENTION
AM	0.04	OPEN
AN	0.15	OPEN
AO	0.47	OPEN/RETENTION
AP	0.20	OPEN
AQ	1.91	OPEN/RECREATION/RETENTION
AR	0.06	OPEN
AS	0.06	OPEN
AT	0.11	OPEN
AU	2.00	OPEN/RETENTION
AV	0.05	OPEN
AW	0.05	OPEN
AX	0.48	OPEN
AY	0.05	OPEN
AZ	1.93	OPEN/RECREATION/RETENTION
BA	0.05	OPEN
BC	0.23	OPEN
BD	0.05	OPEN
BE	0.11	OPEN
BF	0.03	OPEN
BG	0.21	OPEN
BH	0.11	OPEN
BI	0.81	OPEN
BJ	0.05	OPEN
BK	0.03	OPEN
BL	0.96	OPEN
BM	0.18	OPEN

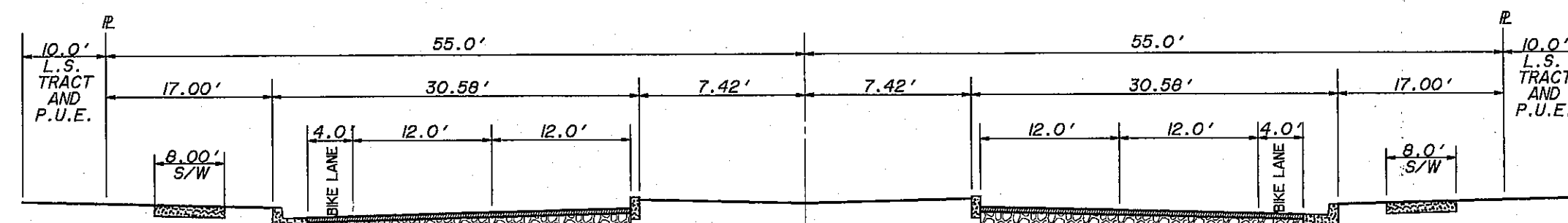
NOTE:
ALL TRACTS ARE TO BE PRIVATELY OWNED AND
MAINTAINED BY THE HOMEOWNERS ASSOCIATION.



LAS BRISAS PHASE 2 LAND USE SUMMARY

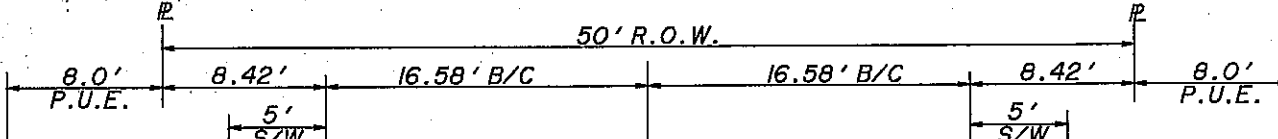
LOT SIZE	ACREAGE	# OF LOTS	ARTERIAL R.O.W. DEDICATION (AC)	NET ACREAGE	NET DENSITY	OPEN SPACE ACREAGE	% OPEN SPACE
55' x 117'	107.8	393	4.4	103.4	3.80	19.5	18.9
60' x 117'	24.2	87	1.6	22.6	3.85	2.5	11.1
65' x 120'	57.8	174	0.0	57.8	3.01	10.7	18.5
70' x 120'	44.2	130	0.0	44.2	2.94	9.0	20.4
80' x 125'	56.9	128	2.5	54.4	2.35	11.7	21.5
SCHOOL/PARK	21.8	-	0.0	5.2	-	5.2	-
TOTAL	312.7	912	8.5	287.6	3.17	58.6	20.4

NOTE:
NET ACREAGE CALCULATED BY: (GROSS ACREAGE - COMMERCIAL ACREAGE - R.O.W. DEDICATION - SCHOOL ACREAGE)
NET DENSITY CALCULATED BY: (# OF LOTS/NET ACREAGE)

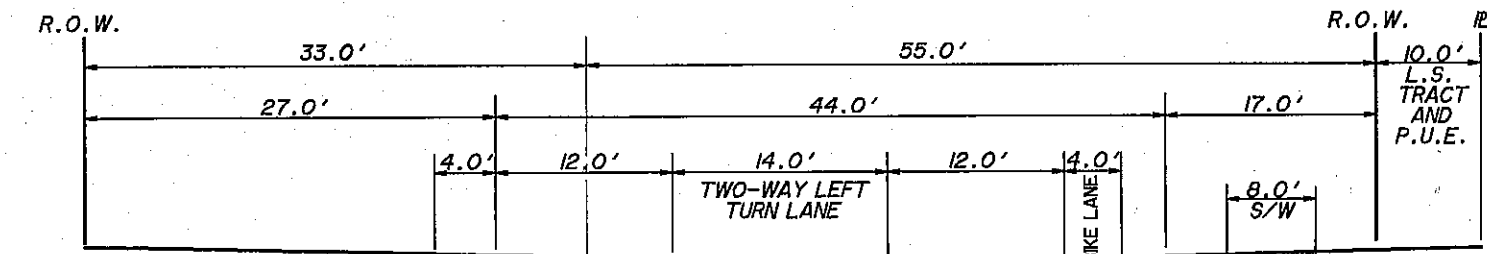


CITY OF GOODYEAR DETAIL G-3122 ARTERIAL STREET (110' ROW)

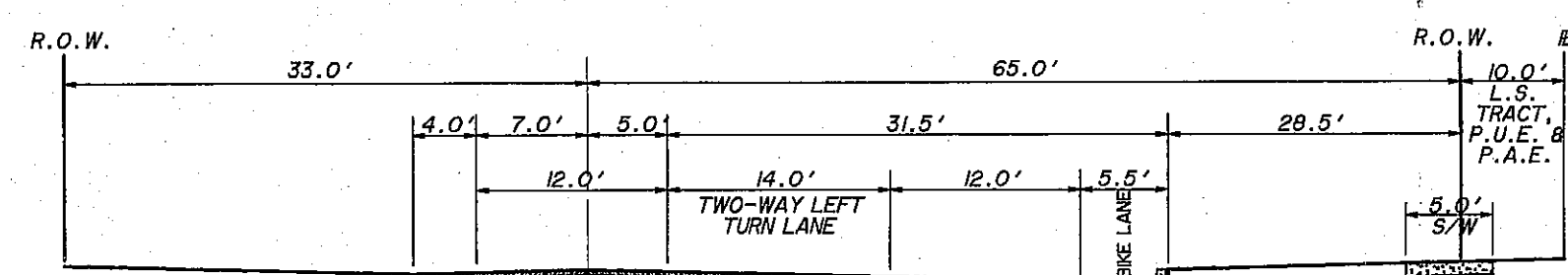
THE DEVELOPER IS RESPONSIBLE FOR 1/2 STREET IMPROVEMENTS FOR LOWER BUCKEYE ROAD, BROADWAY ROAD, CITRUS ROAD, AND 175TH AVENUE ADJOINING THE PROPERTY.



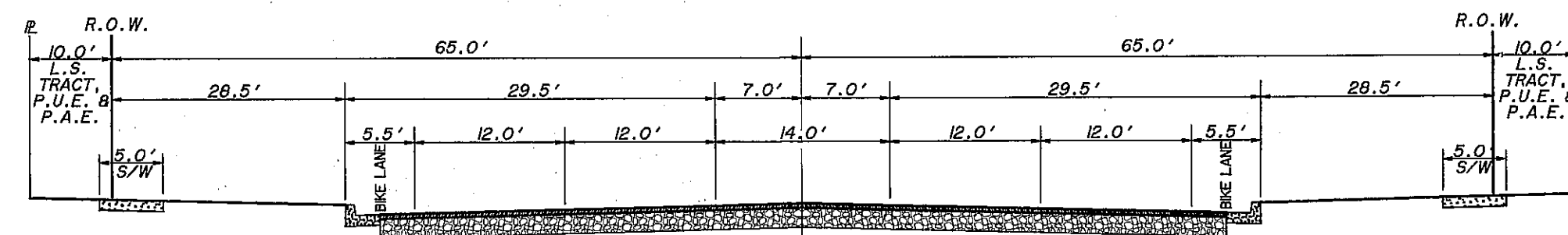
CITY OF GOODYEAR DETAIL G-3126-1 RESIDENTIAL STREET (50' ROW)



PROPOSED IMPROVEMENTS FOR TYPICAL ARTERIAL (INCLUDES ALL ARTERIALS EXCEPT PERRYVILLE ROAD)



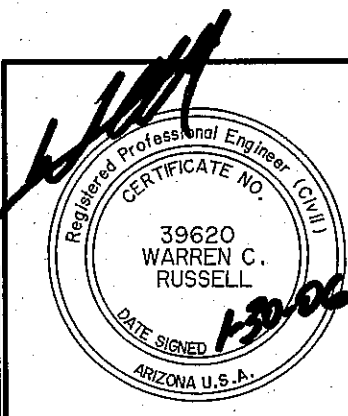
PROPOSED IMPROVEMENTS FOR PERRYVILLE ROAD



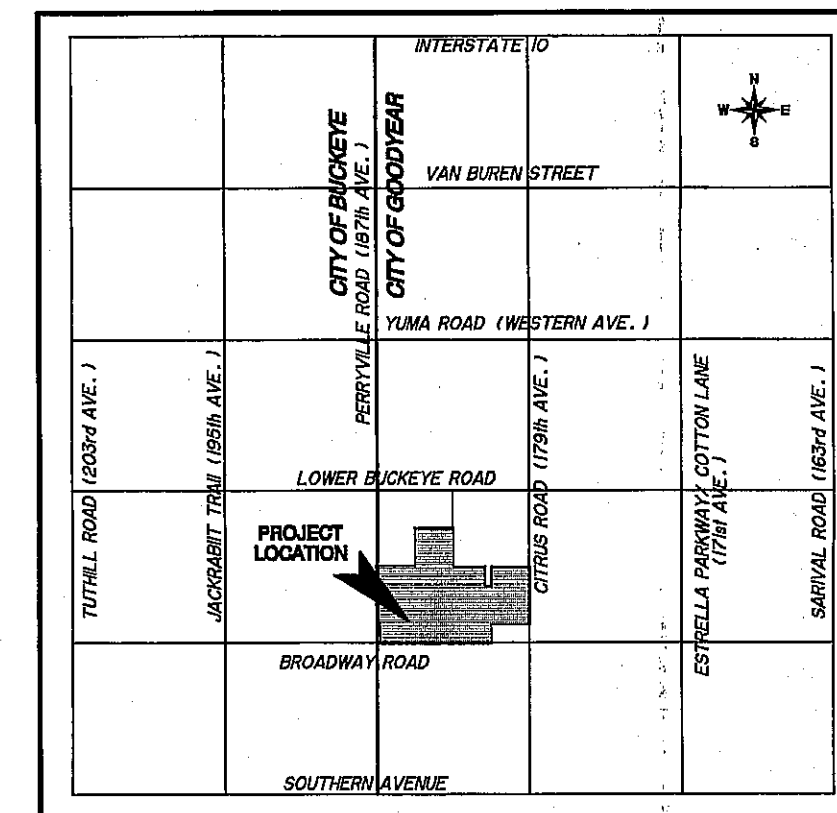
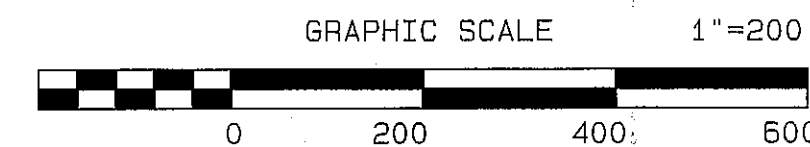
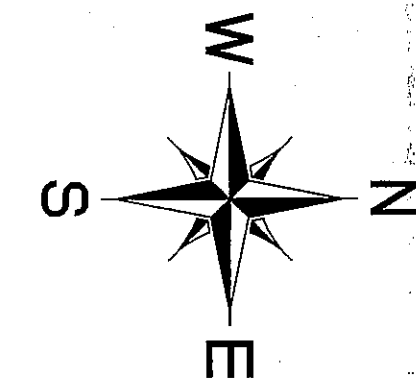
MARICOPA COUNTY URBAN MINOR ARTERIAL ROADWAY SECTION WITHIN CITY OF GOODYEAR DETAIL G-3122 R.O.W. ARTERIAL STREET (PERRYVILLE) (180' ROW)

THE DEVELOPER IS RESPONSIBLE FOR 1/2 STREET IMPROVEMENTS FOR PERRYVILLE ROAD ADJOINING THE PROPERTY.

Two working days before you dig
CALL FOR THE BLUE STAKES
602-263-1100
1-800-STAKE-IT
OUTSIDE MARICOPA COUNTY



05-50000001-002			
LAS BRISAS PHASE TWO GOODYEAR, ARIZONA			
NOTES AND DETAILS			
GOODWIN & MARSHALL	Job No. : 10205A	Design : M.B.	
CIVIL ENGINEERS-PLANNERS-SURVEYORS	Date : JANUARY 2006	Draft : TSN	
	Scale : AS SHOWN	Review : DMG	
SHEET : 2 of 20			



VICINITY MAP

S. PERRYVILLE ROAD NOTE:

ONLY UNDEDICATED PORTIONS OF RIGHT OF WAY ARE TO BE DEDICATED TO THE CITY OF GOODYEAR. ALL EXISTING RIGHT OF WAY SHALL REMAIN IN THE COUNTY AT THIS TIME.

ROOSEVELT IRRIGATION DISTRICT NOTE:

FINAL LOCATION OF R.I.D. DELIVERY AND TAILWATER PIPES SHALL BE COORDINATED WITH THE R.I.D.

NOTE:

1) ALL REFERENCES TO PROPERTY BOUNDARY MEASUREMENTS HAVE BEEN TAKEN FROM THE BOUNDARY SURVEY PREPARED BY ARIZONA SURVEYING AND MAPPING DATED 9/2/04.

05-50000001-003

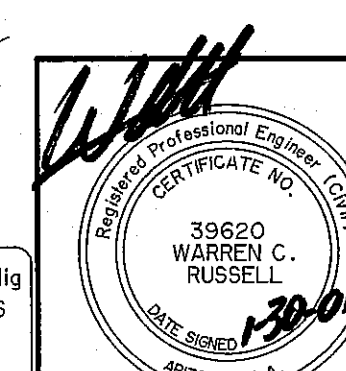
LAS BRISAS
PHASE TWO
GOODYEAR, ARIZONA

PRELIMINARY PLAT INDEX

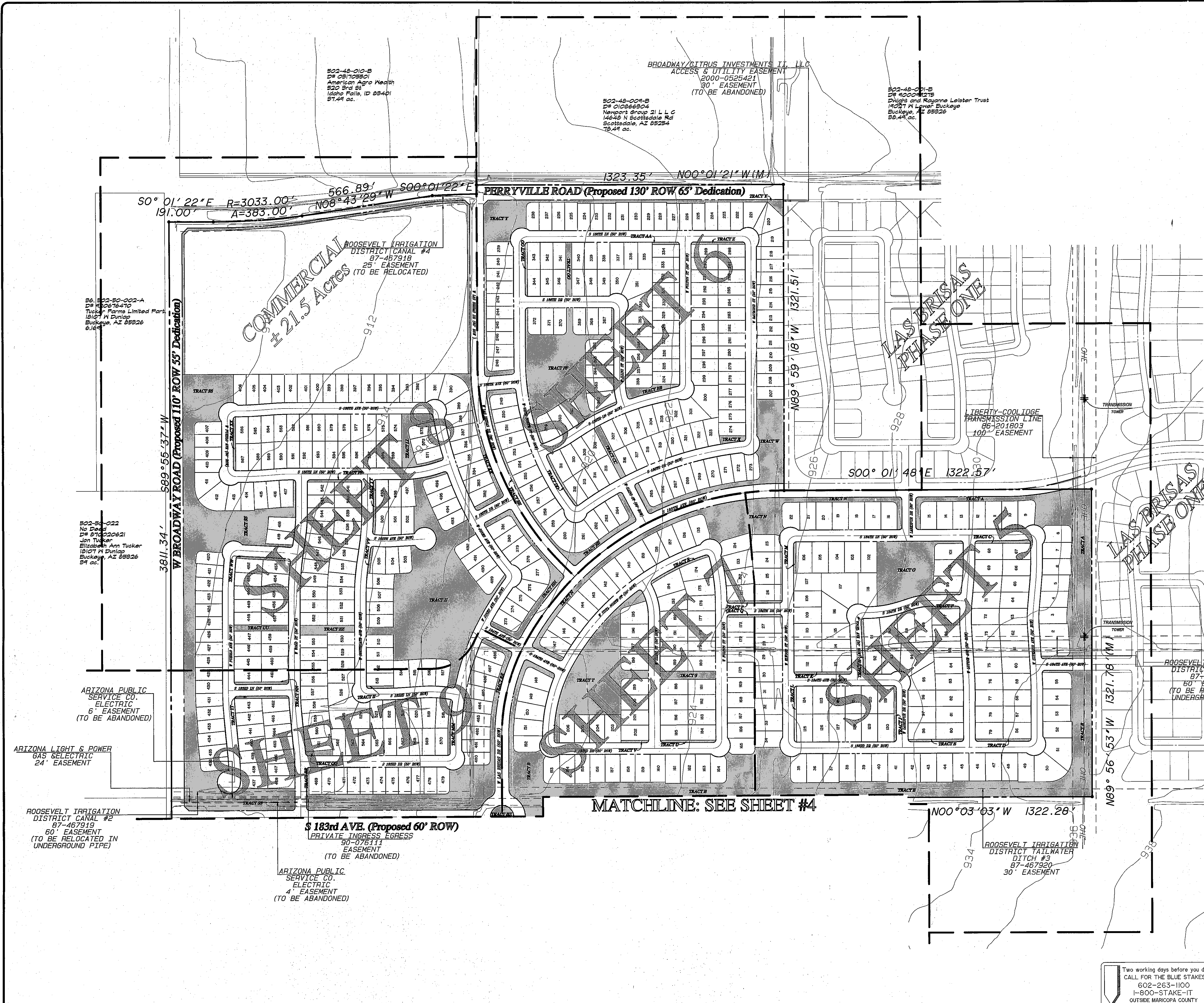
GOODWIN & MARSHALL
CIVIL ENGINEERS-PLANNERS-SURVEYORS

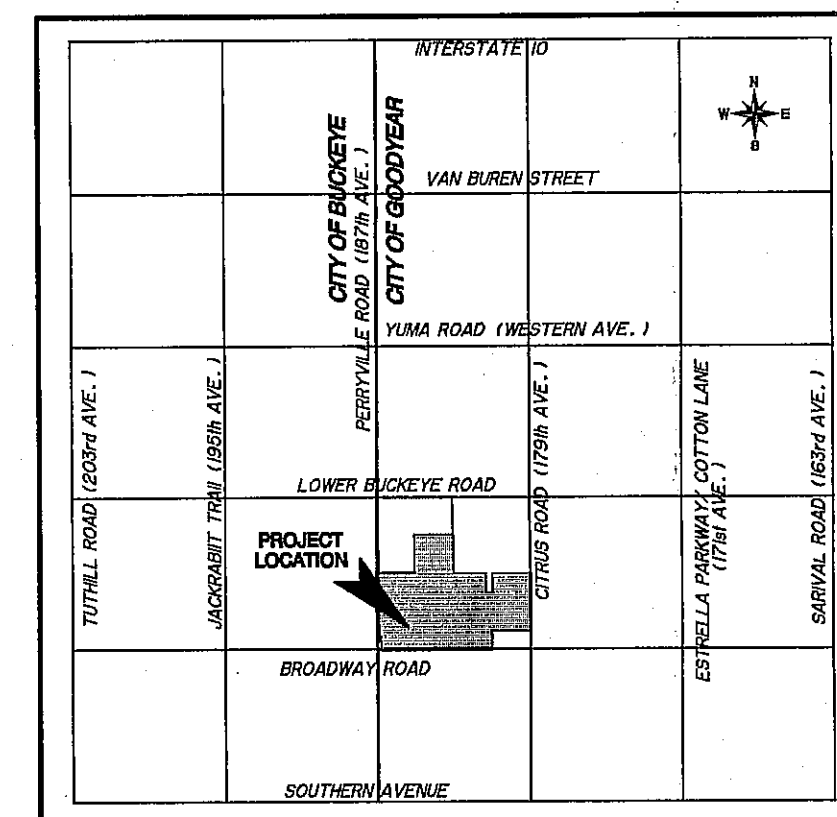
Job No. 10205A
Date JANUARY 2006
Scale AS SHOWN
Design M&B
Draft TSN
Review DMG

SHEET 3 of 20



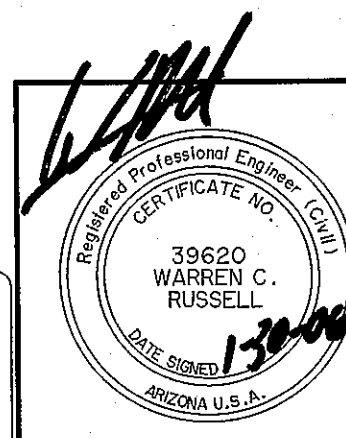
Two working days before you dig
CALL FOR THE BLUE STAKES
602-263-1100
1-800-STAKE-IT
OUTSIDE MARICOPA COUNTY

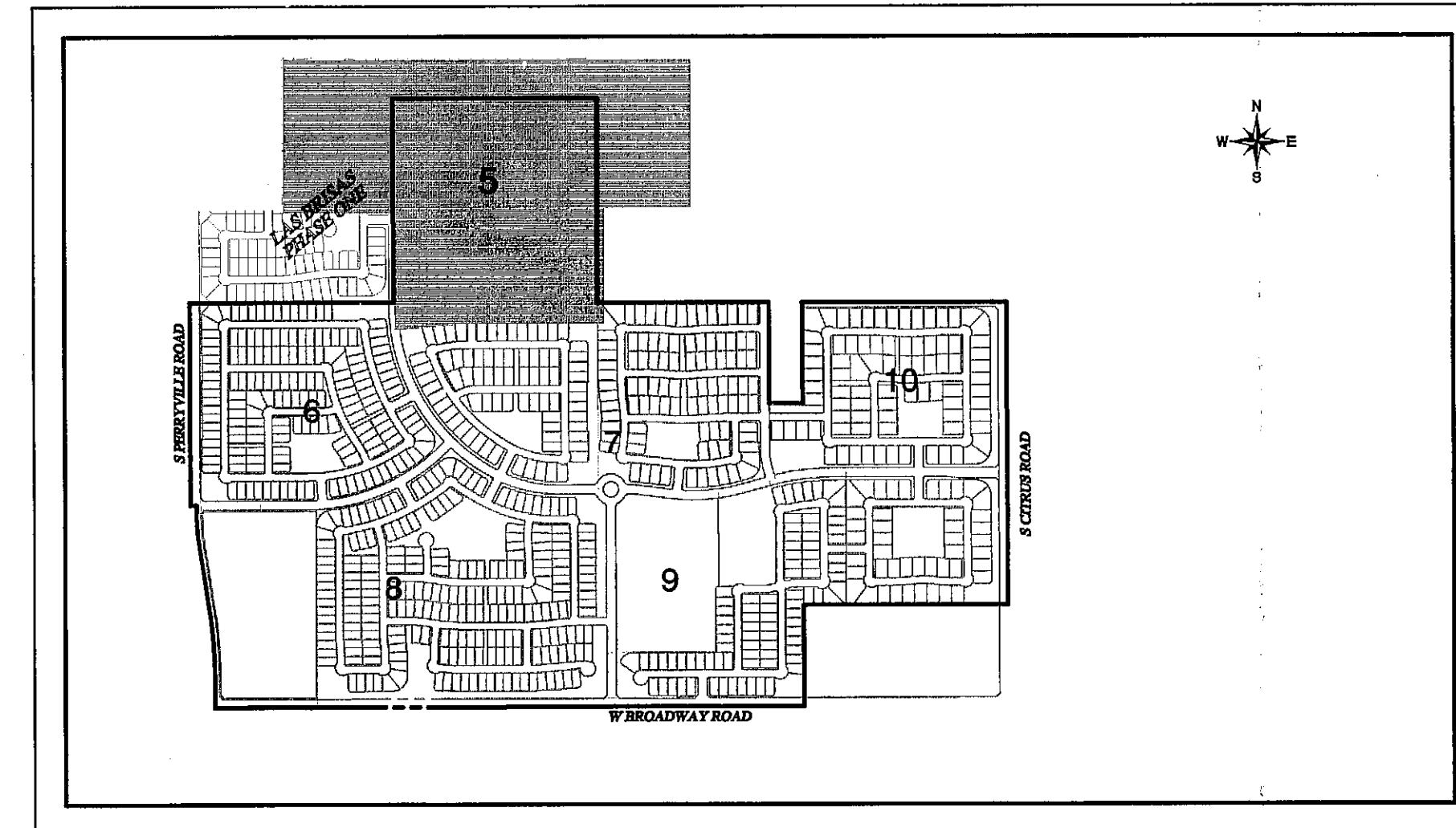
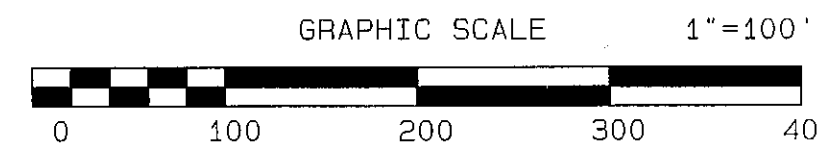
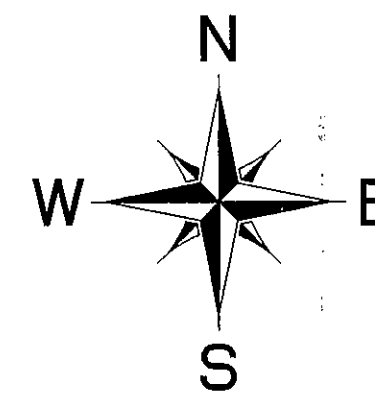
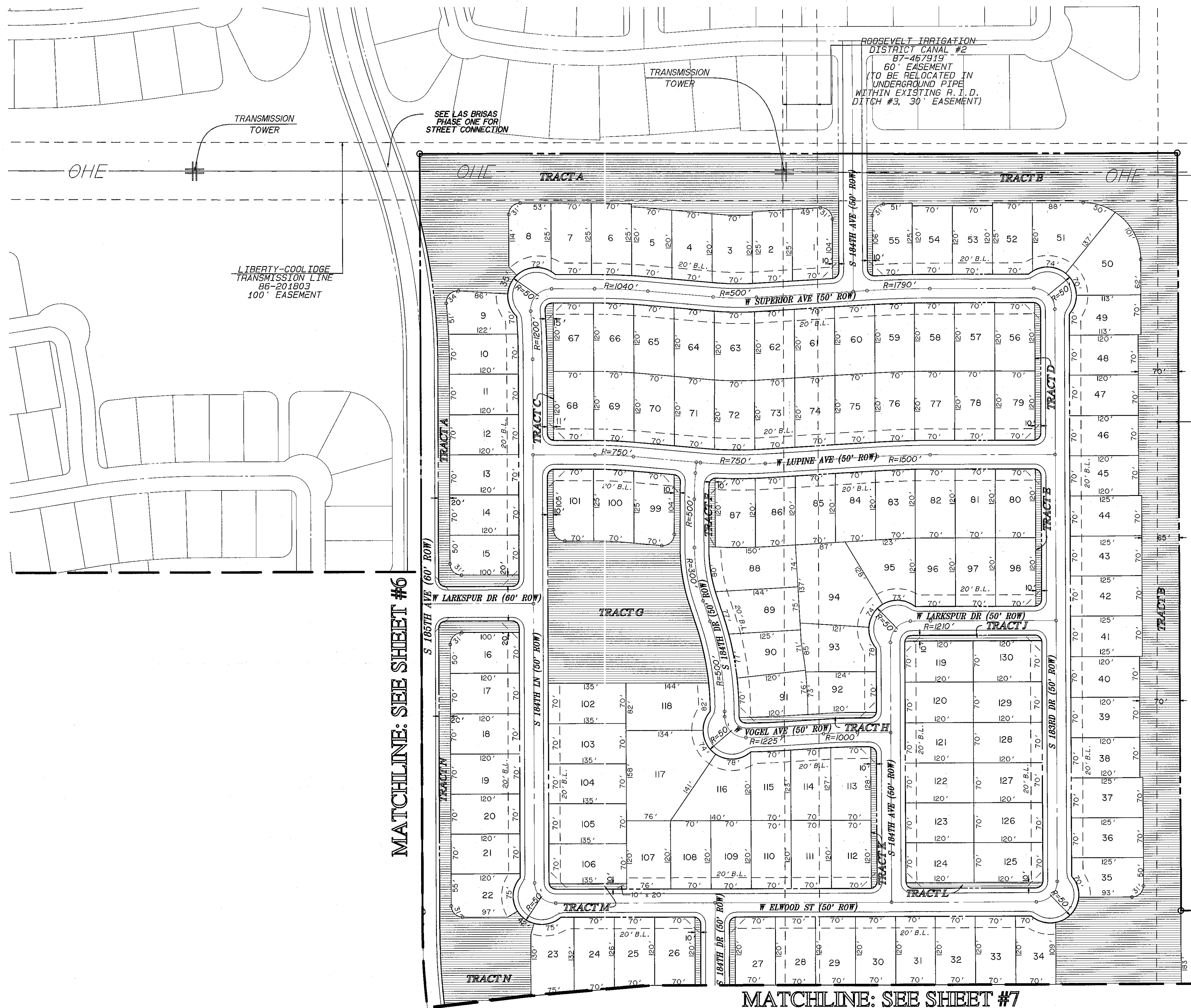




05-50000001-004			
LAS BRISAS PHASE TWO GOODYEAR, ARIZONA			
PRELIMINARY PLAT INDEX			
GOODWIN & MARSHALL &		Job No. : IO205A	Design : M&S
CIVIL ENGINEERS-PLANNERS-SURVEYORS		Date : JANUARY 2006	Draft : TSN
4311 EAST CAMERLACK, SUITE 200, PHOENIX, ARIZONA		Scale : AS SHOWN	Review : DMG
		SHEET :	4 of 20

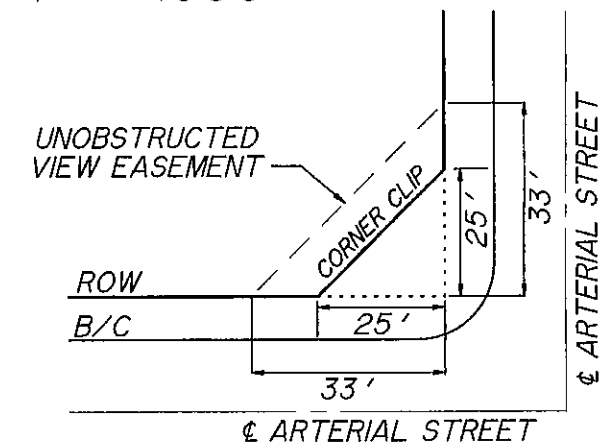
Two working days before you dig
CALL FOR THE BLUE STAKES
602-263-1100
1-800-STAKE-IT
OUTSIDE MARICOPA COUNTY



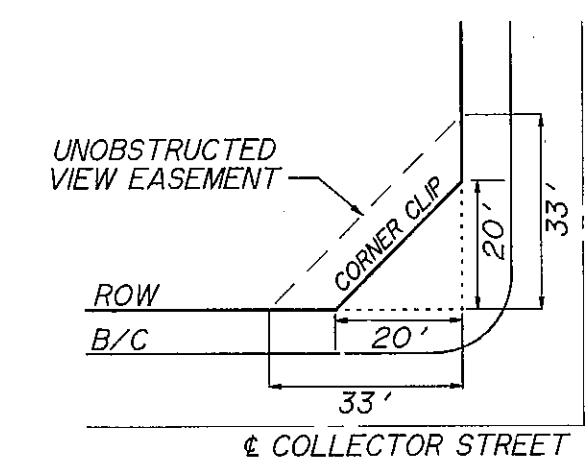


KEY MAP

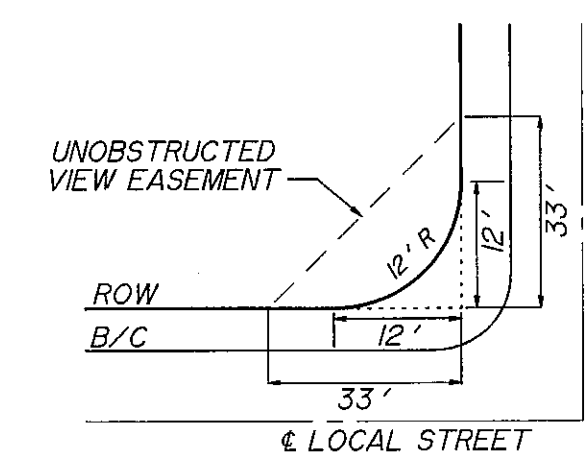
SCALE: 1" = 1000'



TYPICAL UVE DETAIL FOR
ARTERIAL/ARTERIAL STREETS
NTS



TYPICAL UVE DETAIL FOR
COLLECTOR/ARTERIAL STREETS
NTS



TYPICAL UVE DETAIL FOR
LOCAL STREETS
NTS

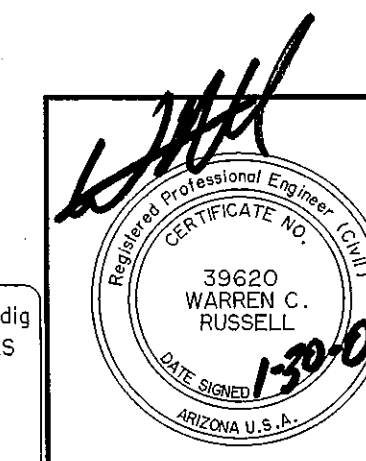
ROOSEVELT IRRIGATION DISTRICT NOTE:

FINAL LOCATION OF R.I.D. DELIVERY
AND TAILWATER PIPES SHALL BE
COORDINATED WITH THE R.I.D.

NOTES:

- 1) FOR ACREAGE OF OPEN SPACE TRACTS SEE SHEET 2.
- 2) LOT FRONTAGE MEASURED AT BUILDING LINE SETBACK.
- 3) PRELIMINARY RETENTION BASINS ARE SHOWN ON SHEET 16-20.
- 4) PROPOSED ZONING IS PAD, MINIMUM LOT SIZE IS 8,400 S.F. THIS SHEET.

Two working days before you dig
CALL FOR THE BLUE STAKES
602-263-1100
1-800-STAKE-IT
OUTSIDE MARICOPA COUNTY



05-50000001-005	
LAS BRISAS PHASE TWO GOODYEAR, ARIZONA	
PRELIMINARY PLAT	
GOODWIN & MARSHALL CIVIL ENGINEERS-PLANNERS-SURVEYORS	Job No.: 10205A Date: JANUARY 2006 Scale: AS SHOWN
Design: M.B. Draft: TSN Review: DMG	SHEET: 5 of 20

S. PERRYVILLE ROAD NOTE:

ONLY UNDEDICATED PORTIONS OF RIGHT OF WAY ARE TO BE DEDICATED TO THE CITY OF GOODYEAR. ALL EXISTING RIGHT OF WAY SHALL REMAIN IN THE COUNTY AT THIS TIME.

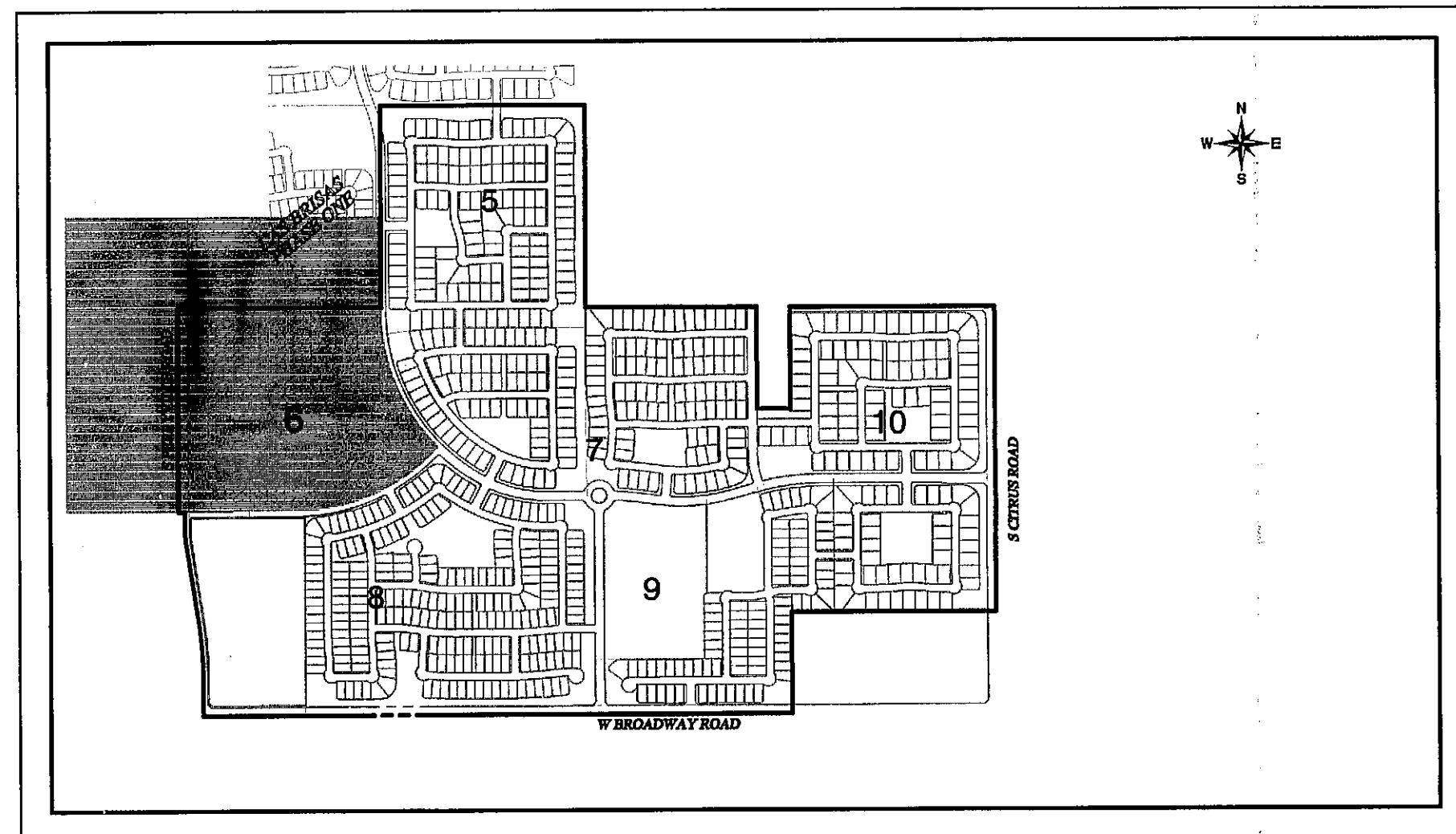
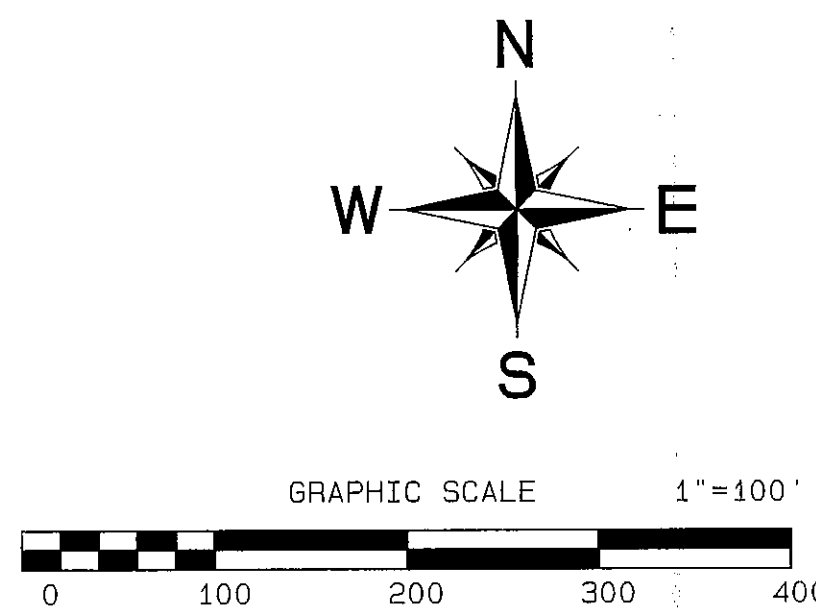
502-48-001-B
DR 010866304
Newport Group 21 L.L.C.
14640 N Scottsdale Rd
Scottsdale, AZ 85254
78.49 ac.

BROADWAY/CITRUS INVESTMENTS II, LLC
ACCESS & UTILITY EASEMENT
2000-0525421
30' EASEMENT
(TO BE ABANDONED)

MATCHLINE: SEE SHEET #8

MATCHLINE: SEE SHEET #5

MATCHLINE: SEE SHEET #7

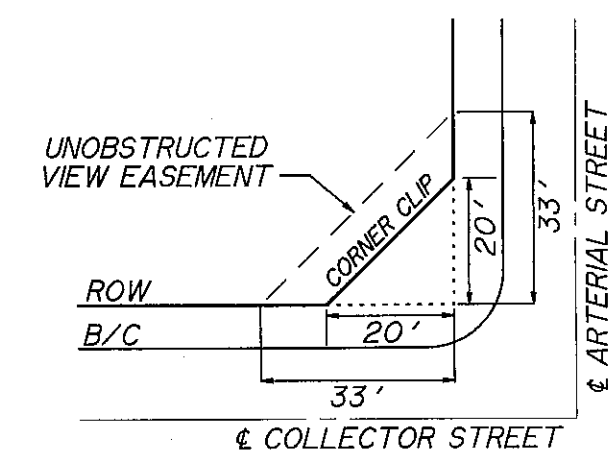


KEY MAP

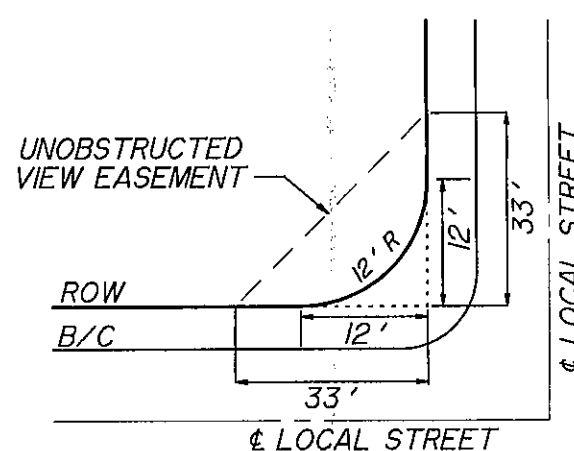
SCALE: 1" = 1000'

ROOSEVELT IRRIGATION DISTRICT NOTE:

FINAL LOCATION OF R.I.D. DELIVERY AND TAILWATER PIPES SHALL BE COORDINATED WITH THE R.I.D.



TYPICAL UVE DETAIL FOR COLLECTOR/ARTERIAL STREETS
NTS

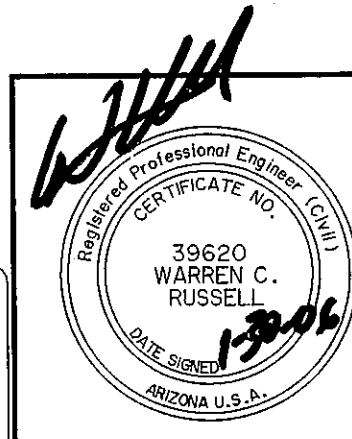


TYPICAL UVE DETAIL FOR LOCAL STREETS
NTS

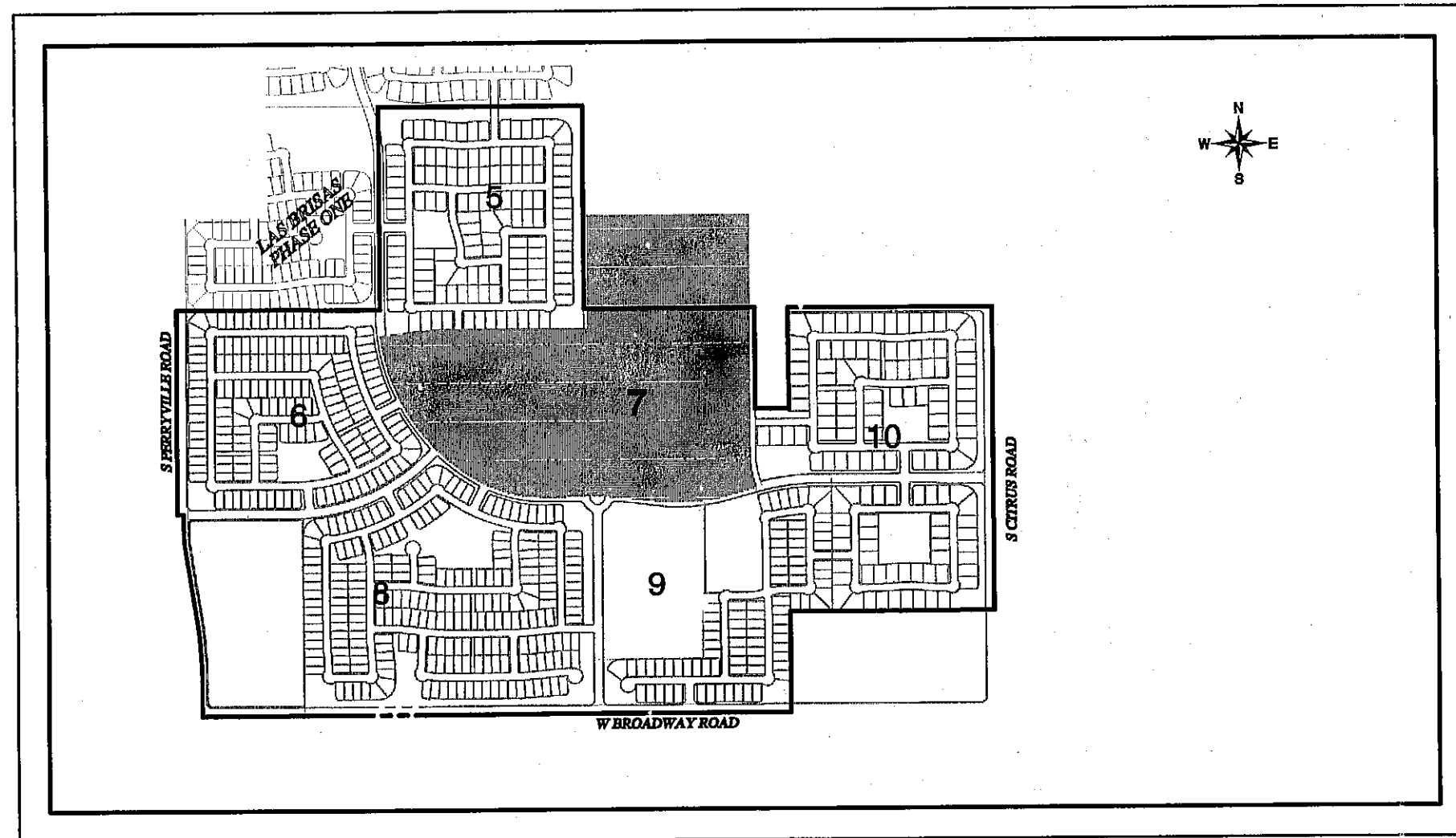
NOTES:

- 1) FOR ACREAGE OF OPEN SPACE TRACTS SEE SHEET 2.
- 2) LOT FRONTAGE MEASURED AT BUILDING LINE SETBACK.
- 3) PRELIMINARY RETENTION BASINS ARE SHOWN ON SHEET 16-20.
- 4) PROPOSED ZONING IS PAD. MINIMUM LOT SIZE IS 6,400 S.F. THIS SHEET.

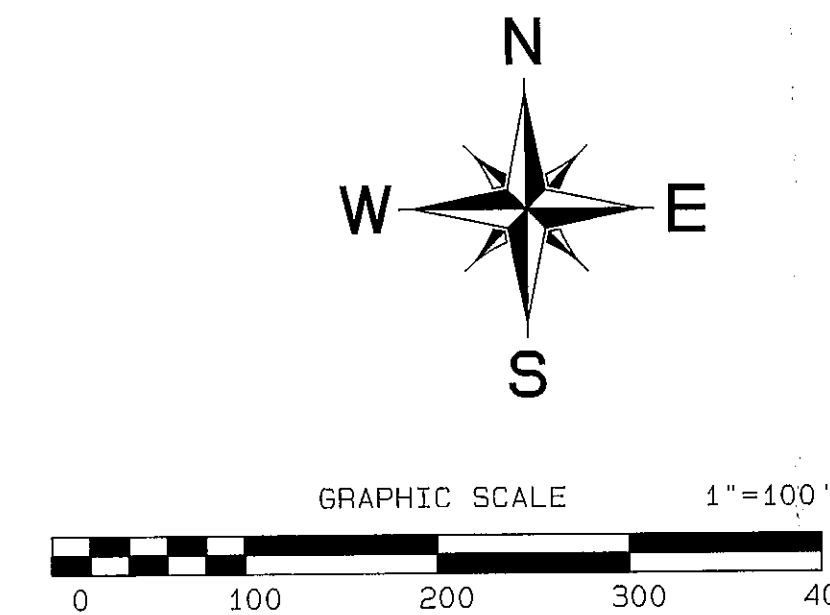
Two working days before you dig
CALL FOR THE BLUE STAKES
602-263-1100
1-800-STAKE-IT
OUTSIDE MARICOPA COUNTY



05-50000001-006	
LAS BRISAS PHASE TWO GOODYEAR, ARIZONA	
PRELIMINARY PLAT	
GOODWIN & MARSHALL	Job No. : 10205A Date : JANUARY 2006 Scale : AS SHOWN
CIVIL ENGINEERS-PLANNERS-SURVEYORS	Design : MJB Draft : TSN Review : DMG
SHEET : 6 of 20	



KEY MAP
SCALE: 1" = 1000'



MATCHLINE: SEE SHEET #5

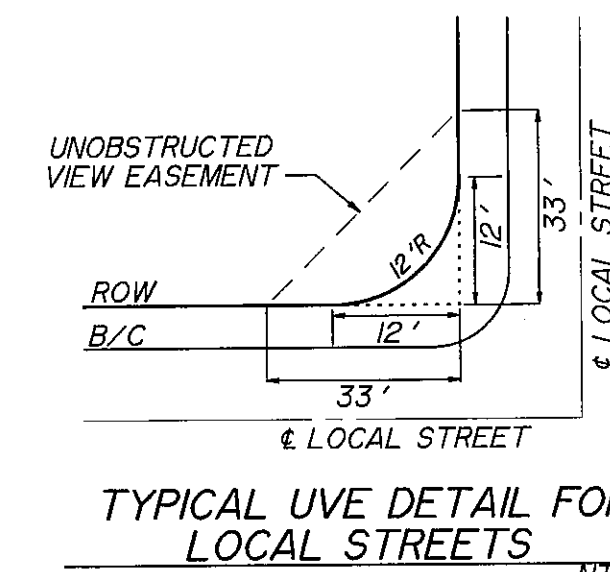
502-48-015-B
DE 010042981
Joan Layton
7101 N 54th St
Paradise Valley, AZ 85260
155.7 ac.

ARIZONA PUBLIC SERVICE
ELECTRIC
3' EASEMENT
(TO BE ABANDONED)

ROOSEVELT IRRIGATION
DISTRICT TAILWATER
DITCH #3
87-467920
30' EASEMENT
(TO BE RELOCATED IN
UNDERGROUND PIPE
WITHIN EXISTING R.I.D.
DITCH #3)

MATCHLINE: SEE SHEET #5

MATCHLINE: SEE SHEET #10

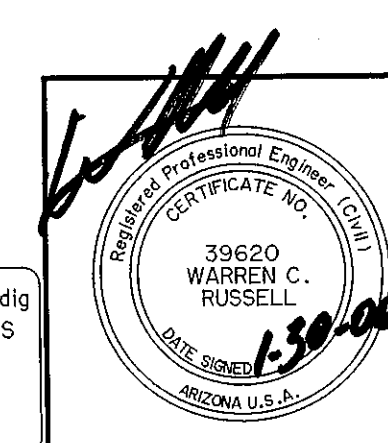


ROOSEVELT IRRIGATION
DISTRICT NOTE:

FINAL LOCATION OF R.I.D. DELIVERY
AND TAILWATER PIPES SHALL BE
COORDINATED WITH THE R.I.D.

NOTES:

- 1) FOR ACREAGE OF OPEN SPACE TRACTS SEE SHEET 2.
- 2) LOT FRONTAGE MEASURED AT BUILDING LINE SETBACK.
- 3) PRELIMINARY RETENTION BASINS ARE SHOWN ON SHEET 16-20
- 4) PROPOSED ZONING IS PAD, MINIMUM LOT SIZE IS 7,800 S.F. THIS SHEET.



05-50000001-007			
LAS BRISAS PHASE TWO GOODYEAR, ARIZONA			
PRELIMINARY PLAT			
GOODWIN & MARSHALL		Job No. 10205A	Design MJB
CIVIL ENGINEERS-PLANNERS-SURVEYORS		Date JANUARY 2006	Draft TSN
3131 EAST CAMELBACK, SUITE 200, PHOENIX, ARIZONA 85016		Scale AS SHOWN	Review DMG
		SHEET: 7 of 20	

Two working days before you dig
CALL FOR THE BLUE STAKES
602-263-1100
1-800-STAKE-IT
OUTSIDE MARICOPA COUNTY

MATCHLINE: SEE SHEET #9

INGRESS AND EGRESS EASEMENT
30' EASEMENT
(TO BE ABANDONED)

MATCHLINE: SEE SHEET #6

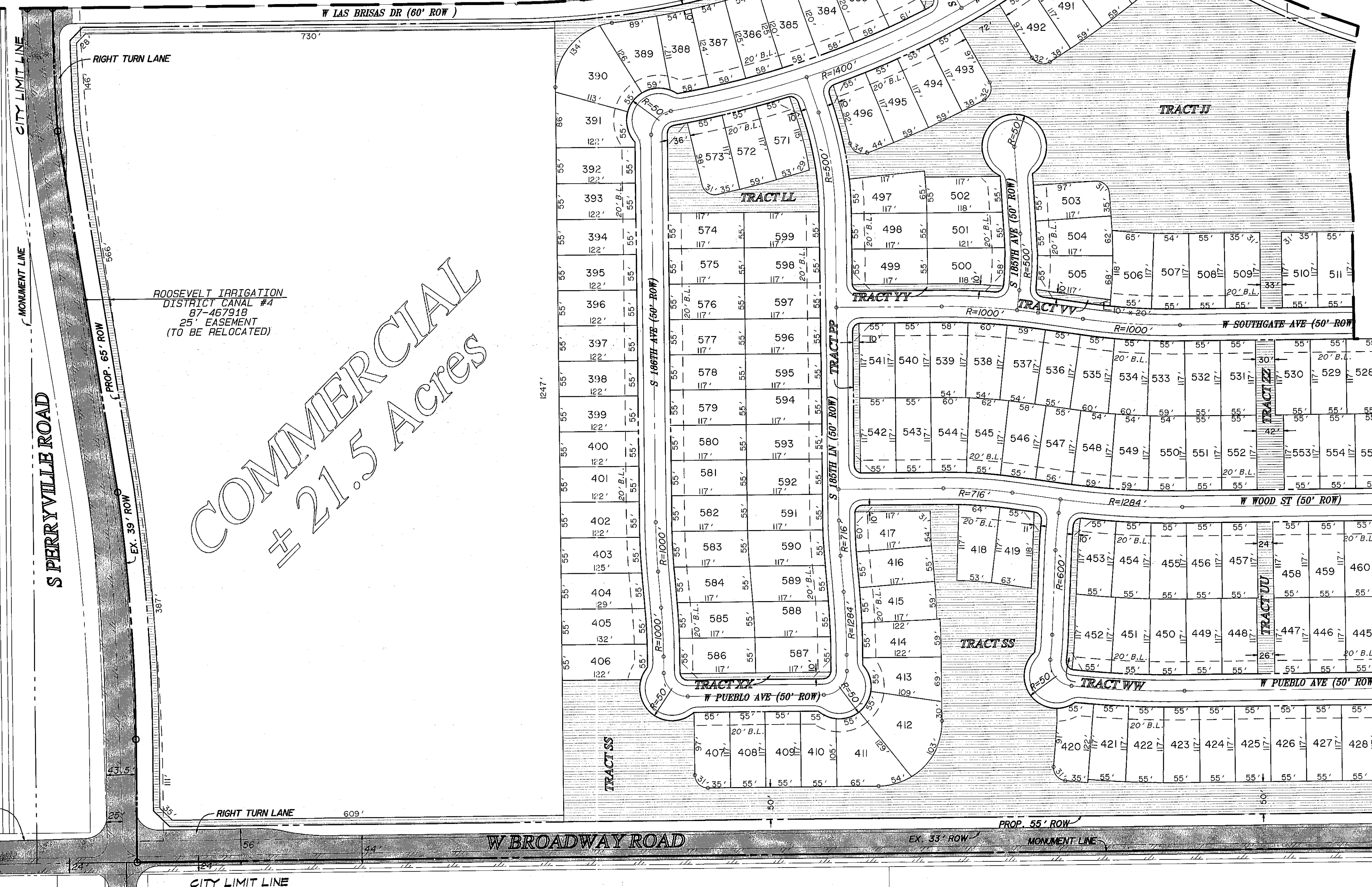
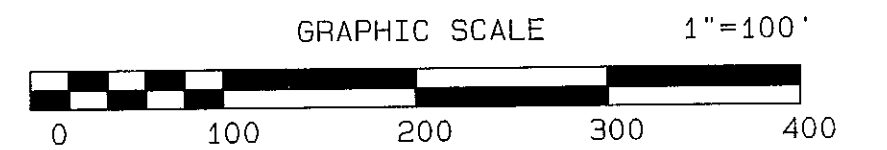
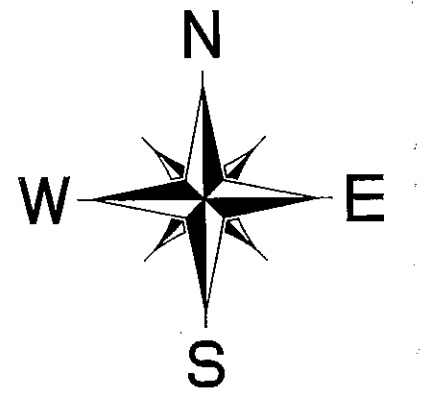
MATCHLINE: SEE SHEET #8

S. PERRYVILLE ROAD NOTE:

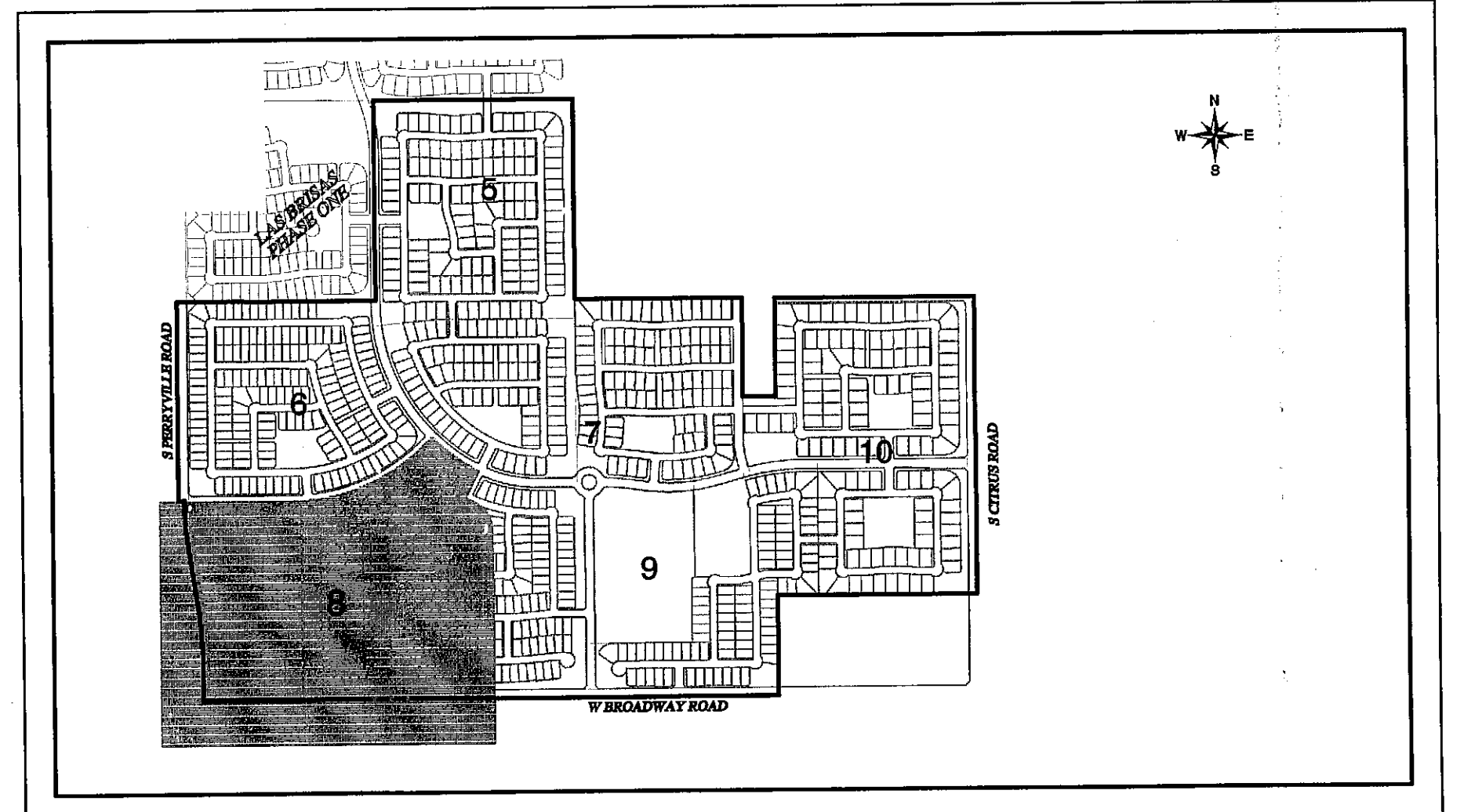
ONLY UNDEDICATED PORTIONS OF RIGHT OF WAY ARE TO BE DEDICATED TO THE CITY OF GOODYEAR. ALL EXISTING RIGHT OF WAY SHALL REMAIN IN THE COUNTY AT THIS TIME.

MATCHLINE: SEE SHEET #6

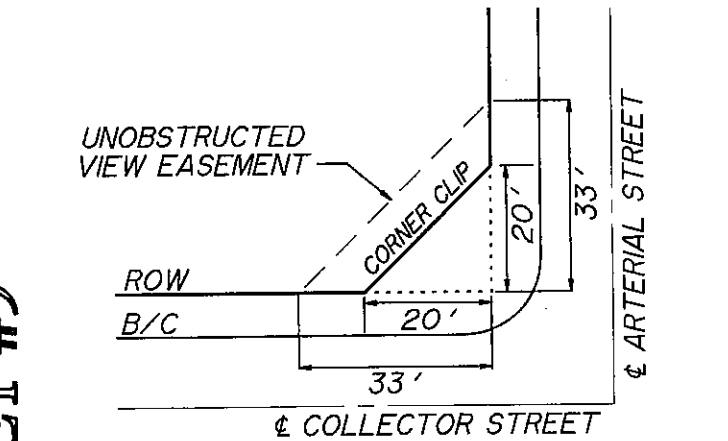
MATCHLINE: SEE SHEET #7



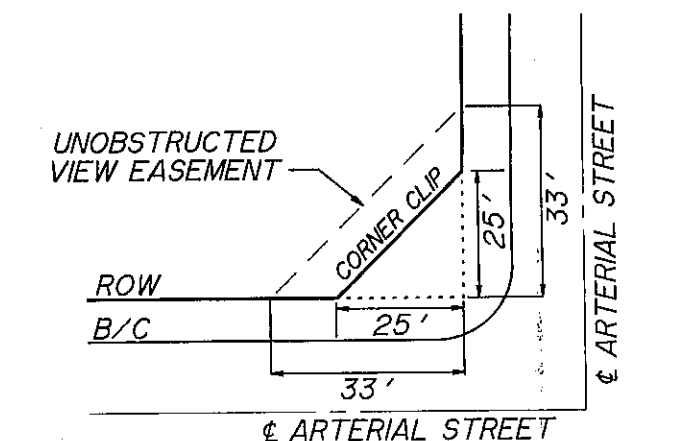
COMMERCIAL
± 21.5 Acres



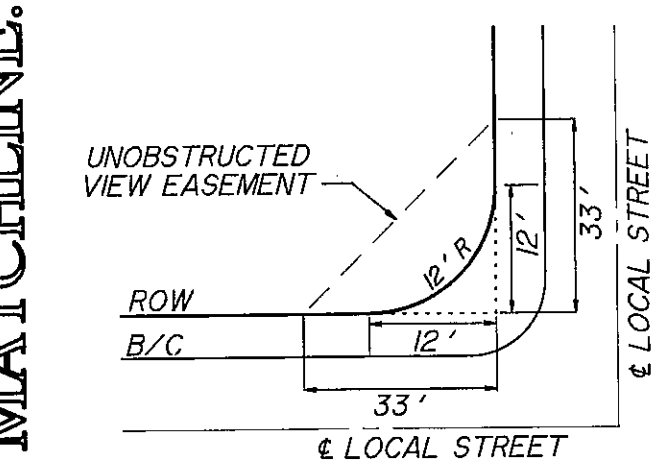
KEY MAP
SCALE: 1" = 1000'



TYPICAL UVE DETAIL FOR
COLLECTOR/ARTERIAL STREETS
NTS



TYPICAL UVE DETAIL FOR
ARTERIAL/ARTERIAL STREETS
NTS



TYPICAL UVE DETAIL FOR
LOCAL STREETS
NTS

ROOSEVELT IRRIGATION DISTRICT NOTE:
FINAL LOCATION OF R.I.D. DELIVERY AND TAILWATER PIPES SHALL BE COORDINATED WITH THE R.I.D.

NOTES:

- 1) FOR ACREAGE OF OPEN SPACE TRACTS SEE SHEET 2.
- 2) LOT FRONTAGE MEASURED AT BUILDING LINE SETBACK.
- 3) PRELIMINARY RETENTION BASINS ARE SHOWN ON SHEET 16-20.
- 4) PROPOSED ZONING IS PAD, MINIMUM LOT SIZE IS 6,400 S.F. THIS SHEET.

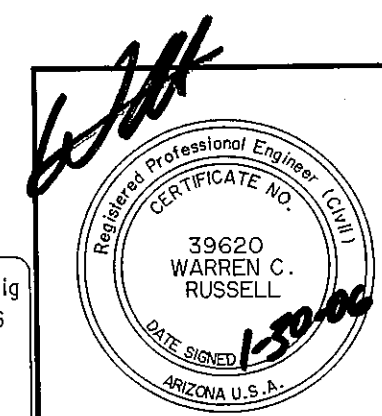
TRANSITION TAPER LENGTH = 1,595'

TRANSITION TAPER LENGTH = 935'

56, 502-50-002-A
DR 420816470
Tucker Farms Limited Part.
18107 W Dunlap
Buckeye, AZ 85326
6.164

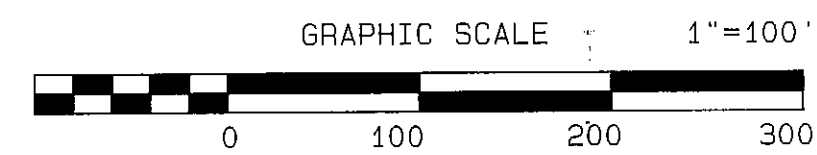
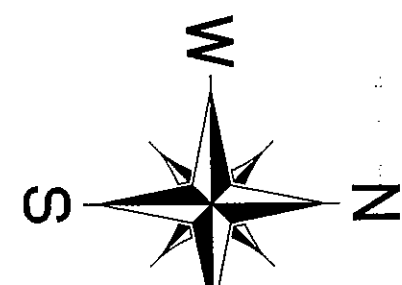
502-50-022
No Dead
DR 570020621
Jon Tucker
Elizabeth Ann Tucker
18107 W Dunlap
Buckeye, AZ 85326
24 ac.

Two working days before you dig
CALL FOR THE BLUE STAKES
602-263-1100
1-800-STAKE-IT
OUTSIDE MARICOPA COUNTY

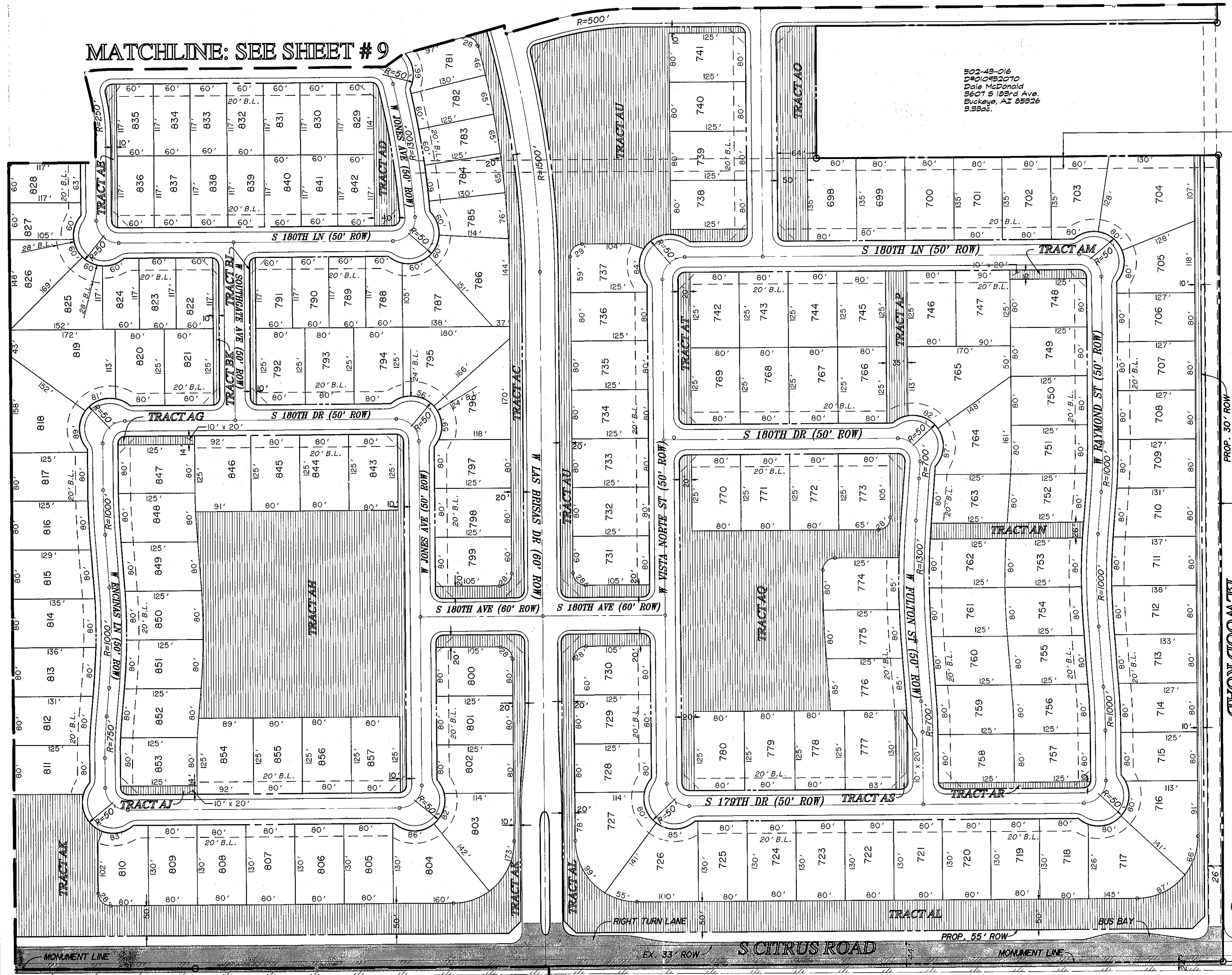


05-50000001-008			
LAS BRISAS PHASE TWO GOODYEAR, ARIZONA			
PRELIMINARY PLAT			
GOODWIN & MARSHALL	CIVIL ENGINEERS-PLANNERS-SURVEYORS	10205A JANUARY 2006 AS SHOWN	Design: MJB Draft: TSN Review: DMG
SHEET: 8 of 20		10205A Prelim Phase 2 Las Brisas	

MATCHLINE: SEE SHEET #7



MATCHLINE: SEE SHEET #9

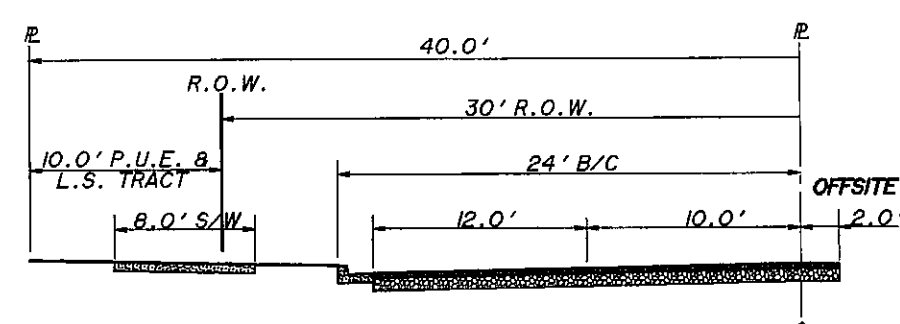
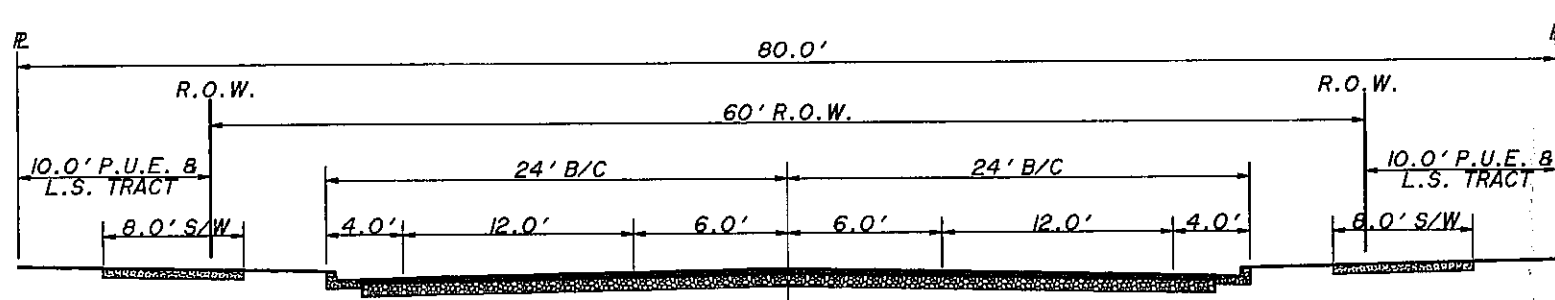
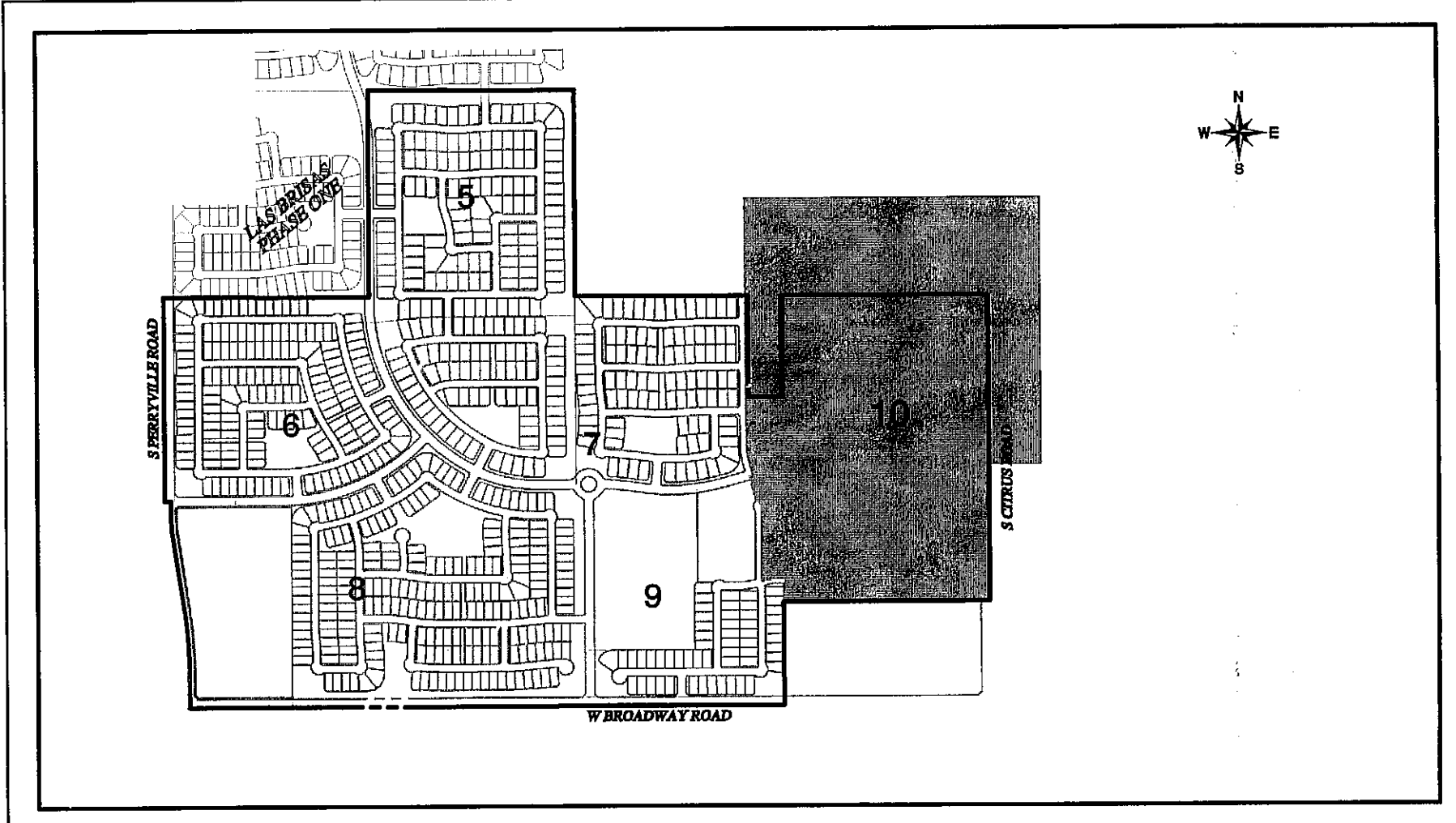


PUBLIC INGRESS EGRESS
ELECTRIC
20' EASEMENT
(TO BE ABANDONED)

502-48-015-B
D# 010042481
Joan Levinson
7101 N 54th St
Paradise Valley, AZ 85260
155.7 ac.

PUBLIC INGRESS EGRESS
ELECTRIC
90-267665
3' EASEMENT

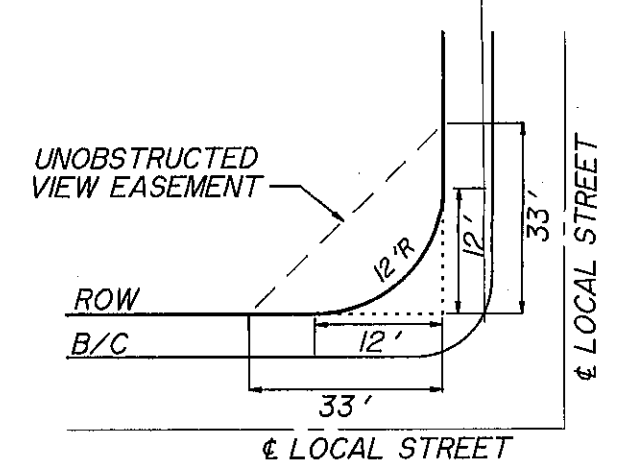
TRANSITION TAPER
LENGTH = 495'



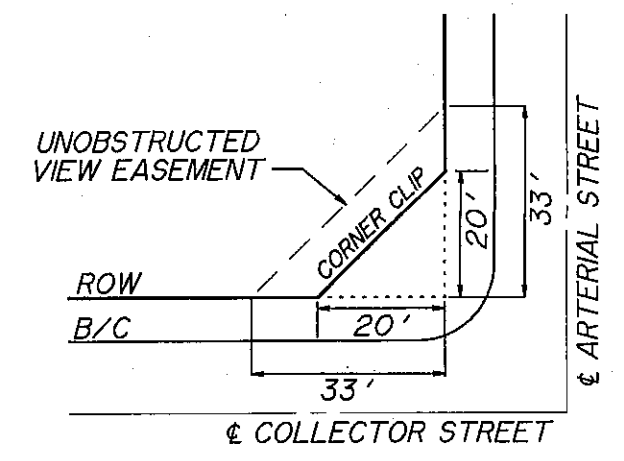
PROPOSED IMPROVEMENTS FOR
ELWOOD ROAD
N.T.S.
NOTE: CAN NOT BE CONSTRUCTED WITHOUT
ADJACENT R.O.W. DEDICATION.

NOTES:

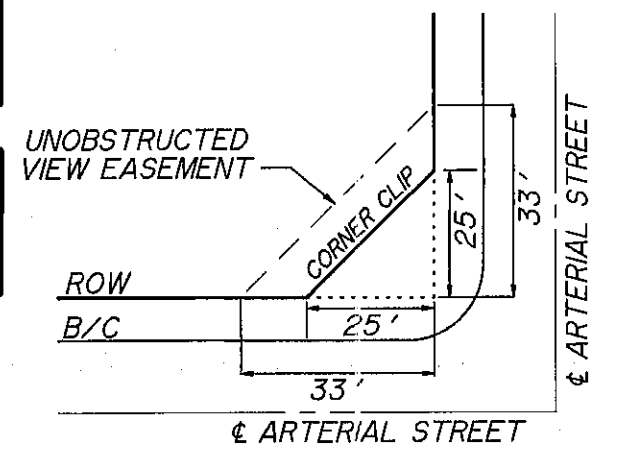
- 1) FOR ACREAGE OF OPEN SPACE TRACTS SEE SHEET 2.
- 2) LOT FRONTAGE MEASURED AT BUILDING LINE SETBACK.
- 3) PRELIMINARY RETENTION BASINS ARE SHOWN ON SHEETS 16-20.
- 4) PROPOSED ZONING IS PAD, MINIMUM LOT SIZE IS 10,000 S.F. THIS SHEET. MINIMUM LOT SIZE FOR LOTS 781 - 791, 822 - 842 IS 7,000 S.F.



TYPICAL UVE DETAIL FOR
LOCAL STREETS
NTS



TYPICAL UVE DETAIL FOR
COLLECTOR/ARTERIAL STREETS
NTS



TYPICAL UVE DETAIL FOR
ARTERIAL/ARTERIAL STREETS
NTS

502-48-021-C
No Dead
D# 270410025
Racore Cotton Lane Assoc
17125 N Redfield Rd
Scottsdale, AZ 85260
58.446 ac.

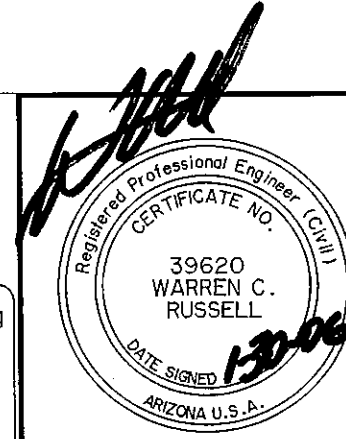
502-48-537
D# 000455845
Esposito Miguel/Esperanza
2610 N Ransome Ave
Phoenix, AZ 85021
2.230 ac.

502-48-534
D# 440482204
Esposito Gualthomas
2610 N Ransome Ave
Phoenix, AZ 85021
2.234 ac.

ROOSEVELT IRRIGATION
DISTRICT NOTE:

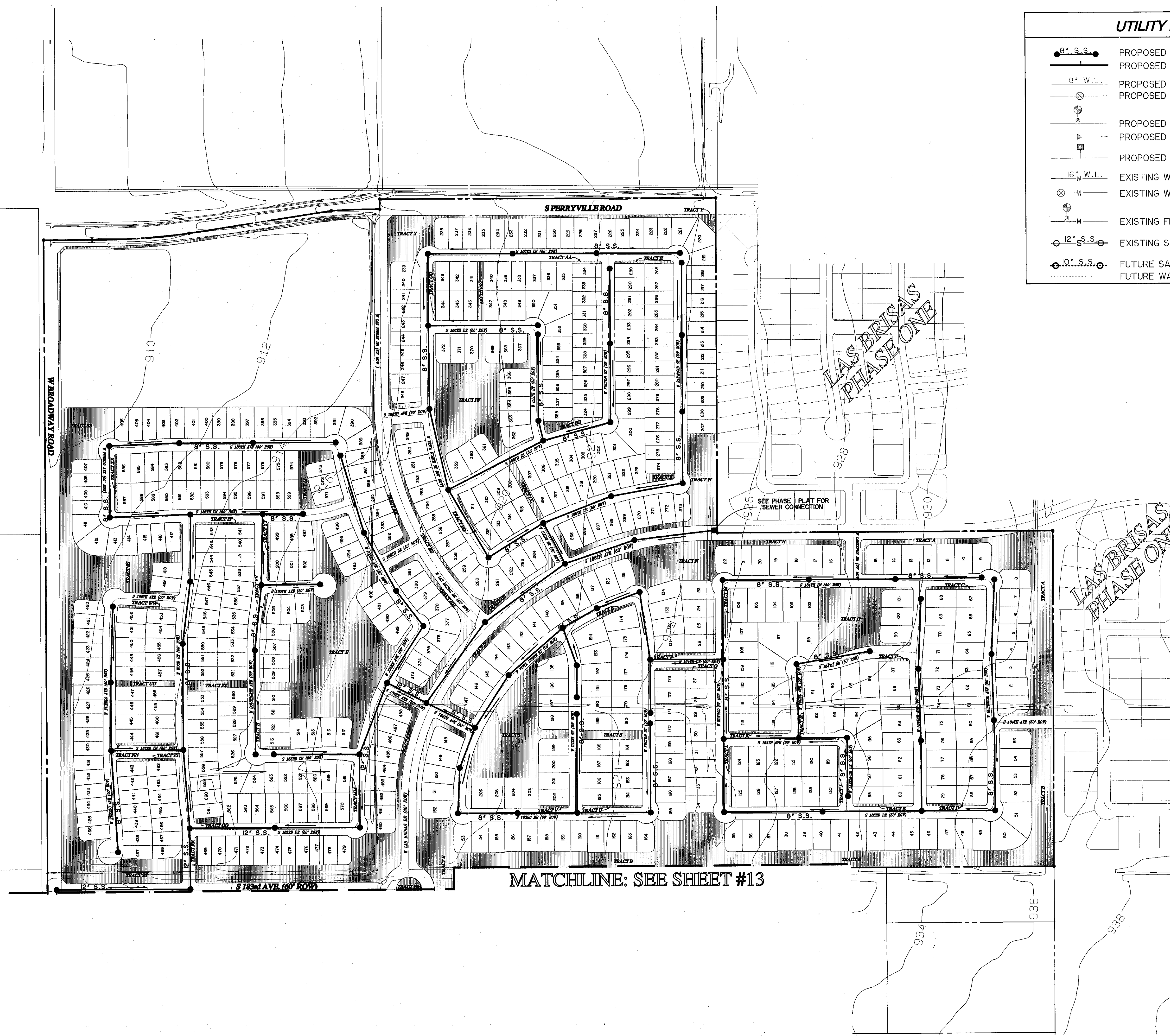
FINAL LOCATION OF R.I.D. DELIVERY
AND TAILWATER PIPES SHALL BE
COORDINATED WITH THE R.I.D.

Two working days before you dig
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602-263-1100
1-800-STAKE-IT
OUTSIDE MARICOPA COUNTY



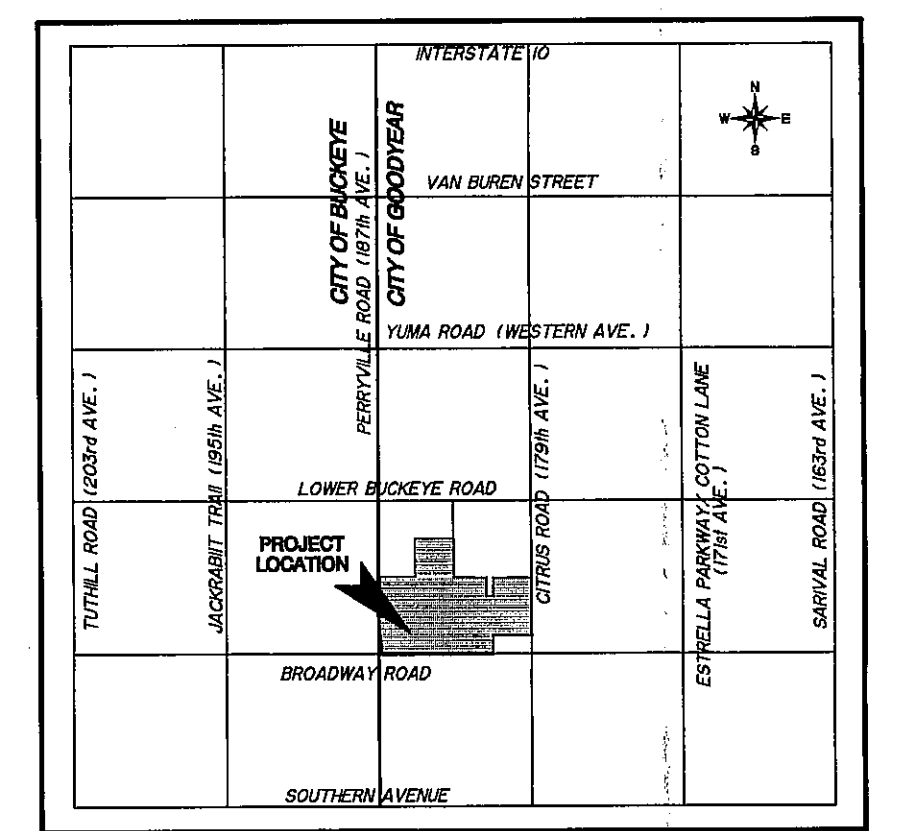
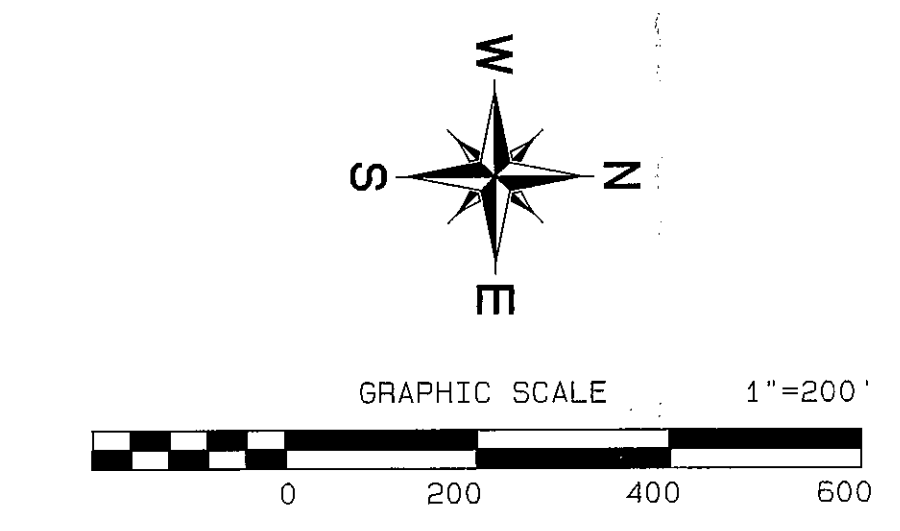
05-50000001-010			
LAS BRISAS PHASE TWO GOODYEAR, ARIZONA			
PRELIMINARY PLAT			
GOODWIN & MARSHALL		CIVIL ENGINEERS-PLANNERS-SURVEYORS	
Job No. : 10205A	Design : MJB	Date : JANUARY 2006	Draft : TSN
Scale : AS SHOWN	Review : DMG	SHEET : 10 of 20	

E:\10205A Prelim Phase 2 Las Brisas Phase 2 Pre-Plat_1-20-06.pro Mon Jan 30 11:28:57 2006



UTILITY LEGEND

- 8" S.S. PROPOSED S.S. LINE W/ MANHOLE
- PROPOSED SANITARY SEWER SERVICE
- 8" W.L. PROPOSED WATER LINE
- PROPOSED WATER VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED REDUCER VALVE
- PROPOSED REDUCER VALVE
- 16" W.L. EXISTING WATER LINE
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- 12" S.S. EXISTING S.S. LINE W/ MANHOLE
- 10" S.S. FUTURE SANITARY SEWER LINE
- FUTURE WATER LINE



VICINITY MAP

Wastewater System Analysis
For
Las Brisas Phase Two

Design Criteria: Subdivision Design Guidelines- Section 6.1 Sewer System Design, July 1997, City of Goodyear, Arizona

Development Statistics: The proposed development contains 912 residential lots.

DOMESTIC WASTEWATER FLOW CALCULATIONS

Average Daily Flow:

- 1) Population Density: 2.5 persons/unit
- 2) Average Daily flow per capita: 100gpcd
- 3) Average Daily flow per dwelling unit is therefore: 100 gpcd x 2.5 persons/unit x 912 units = 228,000 gal/day

Maximum Daily Flow:

- 1) The maximum day is equal to 4.0 times the average daily flow.
- 2) The maximum daily flow is therefore: 228,000 gal/day x 4.0 = 912,000 gal/day = 633.34 gal/minute

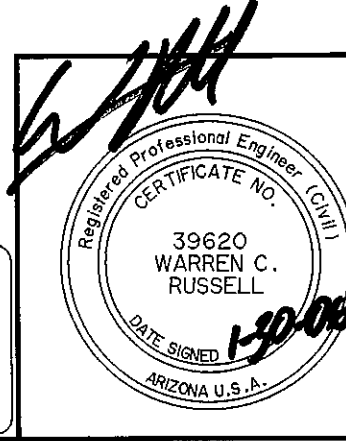
Capacity of Proposed Onsite Sewer:

- 1) The minimum size line for the public sewer mains is 8-inch diameter.
- 2) A Manning's "n" value of 0.013 shall be used for calculating sewer capacity.
- 3) The minimum slope for an 8-inch line is 0.034 ft. per ft. to maintain a velocity of 2 feet per second.
- 4) Given the above information, Manning's equation gives a capacity of 317 gal/minute.

NOTES:

- 1) PER CITY OF GOODYEAR REQUIREMENTS THE MAXIMUM MANHOLE SPACING SHALL BE 400' FOR 8"-15" SEWERS.
- 2) ALL SEWER LINES ARE 8" UNLESS OTHERWISE NOTED.
- 3) PROJECT SHALL CONFORM TO THE REGIONAL SEWER STUDY BEING PERFORMED BY CVL.
- 4) CITY HAS APPROVED ALTERNATIVE ALIGNMENT OF OFF-SITE SEWER IF EASEMENTS THROUGH THE EL CIDRO DEVELOPMENT ARE NOT OBTAINABLE. SEE OFF-SITE SEWER DISPLAY FOR ALIGNMENT.

Two working days before you dig
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1-800-STAKE-IT
OUTSIDE MARICOPA COUNTY



05-50000001-011

**LAS BRISAS
PHASE TWO
GOODYEAR, ARIZONA
PRELIMINARY PLAT
SEWER LAYOUT**

GOODWIN & MARSHALL
CIVIL ENGINEERS-PLANNERS-SURVEYORS

3131 EAST CAMERON BLVD., SUITE 200, PHOENIX, ARIZONA 85016

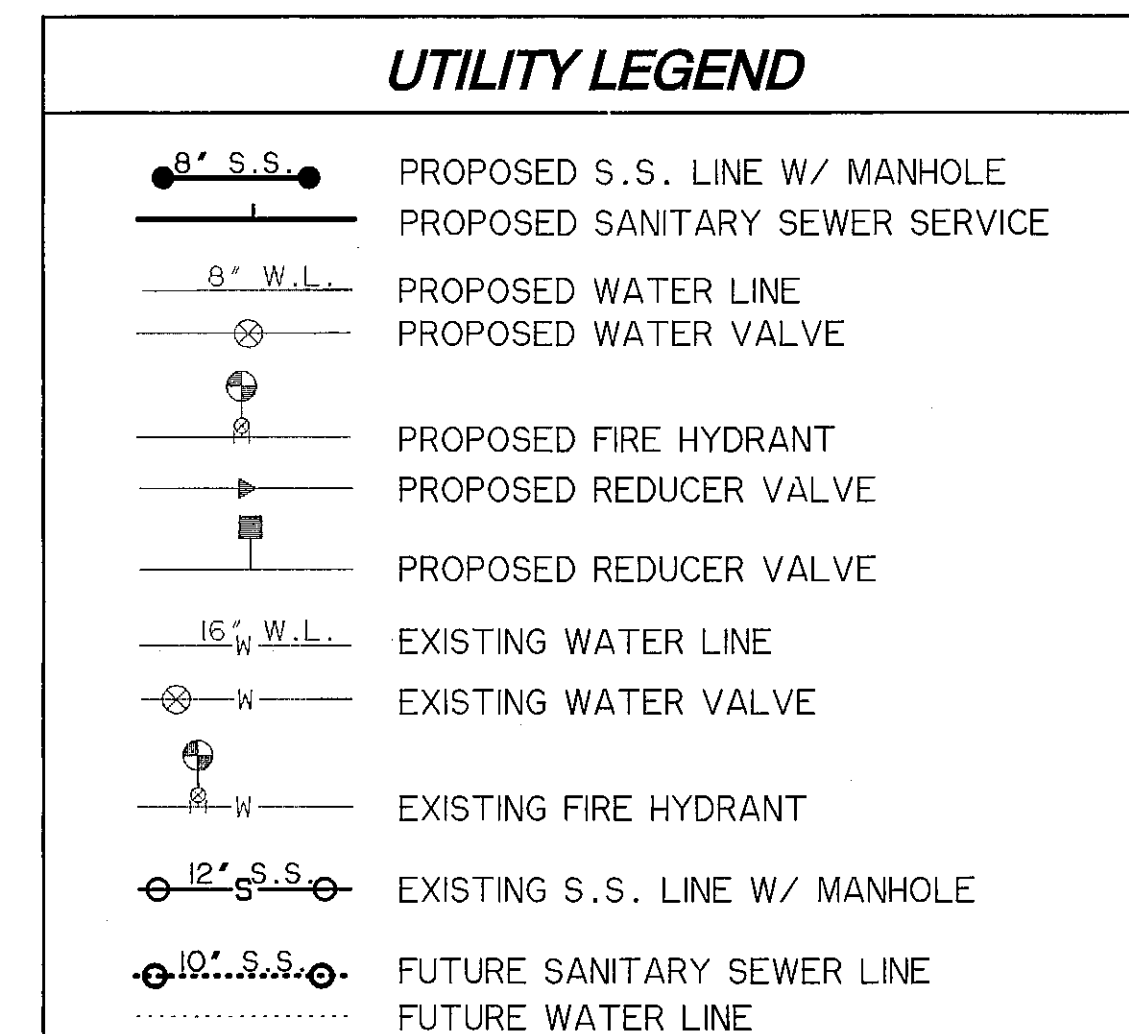
Job No.: 10205A Design: MMB
Date: JANUARY 2006 Draft: TSN
Scale: AS SHOWN Review: DMG

SHEET: 11 of 20

PRELIMINARY PLAT FOR LAS BRISAS PHASE TWO, GOODYEAR, ARIZONA

GOODWIN AND MARSHALL, INC.

MATCHLINE: SEE SHEET #12



Wastewater System Analysis
For
Las Brisas Phase Two

Design Criteria: Subdivision Design Guidelines- Section 6.1 Sewer System Design, July 1997, City of Goodyear, Arizona

Development Statistics: The proposed development contains 912 residential lots.

DOMESTIC WASTEWATER FLOW CALCULATIONS

Average Daily Flow:

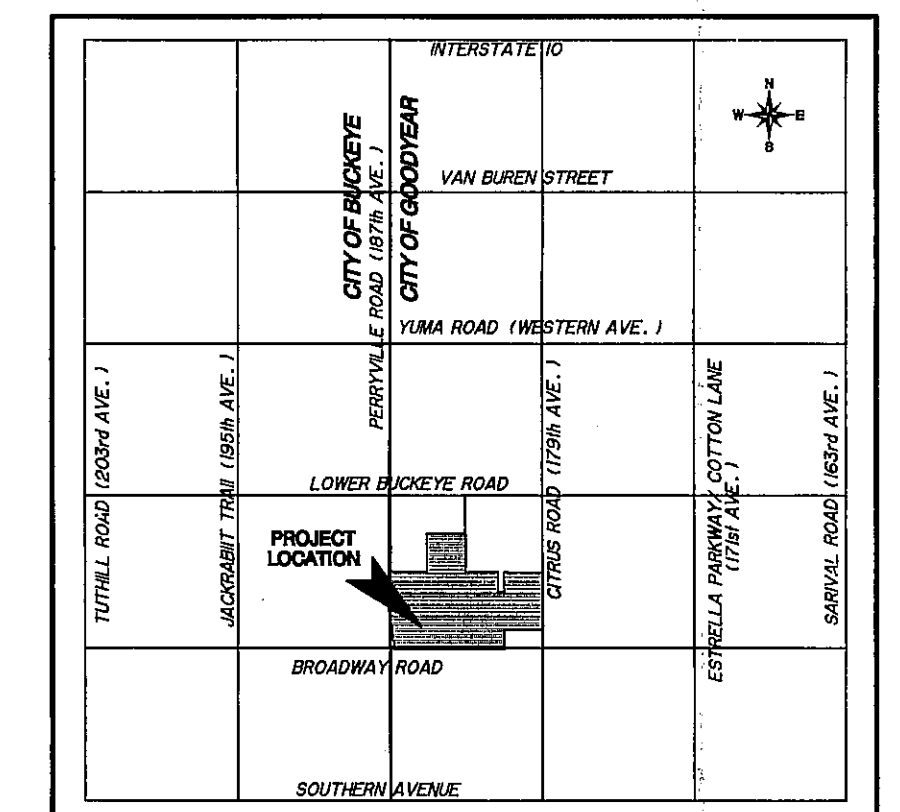
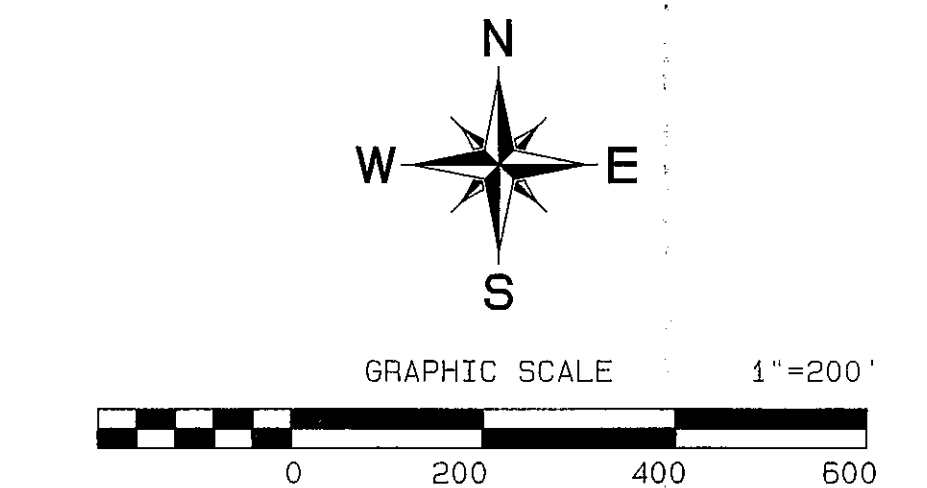
- 1) Population Density: 2.5 persons/unit
- 2) Average Daily flow per capita: 100gpcd
- 3) Average Daily flow per dwelling unit is therefore:
 $100 \text{ gpcd} \times 2.5 \text{ persons/unit} \times 912 \text{ units} = 228,000 \text{ gal/day}$

Maximum Daily Flow:

- 1) The maximum day is equal to 4.0 times the average daily flow.
- 2) The maximum daily flow is therefore:
 $228,000 \text{ gal/day} \times 4.0 = 912,000 \text{ gal/day} = 633.34 \text{ gal/minute}$

Capacity of Proposed Onsite Sewer:

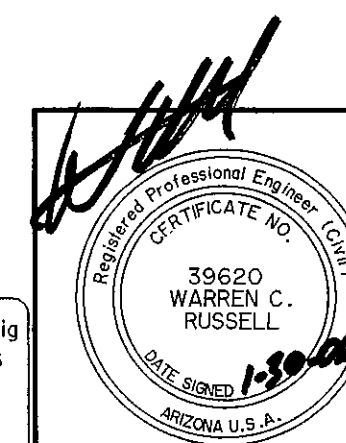
- 1) The minimum size line for the public sewer mains is 8-inch diameter.
- 2) A Manning's "n" value of 0.013 shall be used for calculating sewer capacity.
- 3) The minimum slope for an 8-inch line is 0.034 ft. per ft. to maintain a velocity of 2 feet per second.
- 4) Given the above information, Manning's equation gives a capacity of 317 gal/minute.



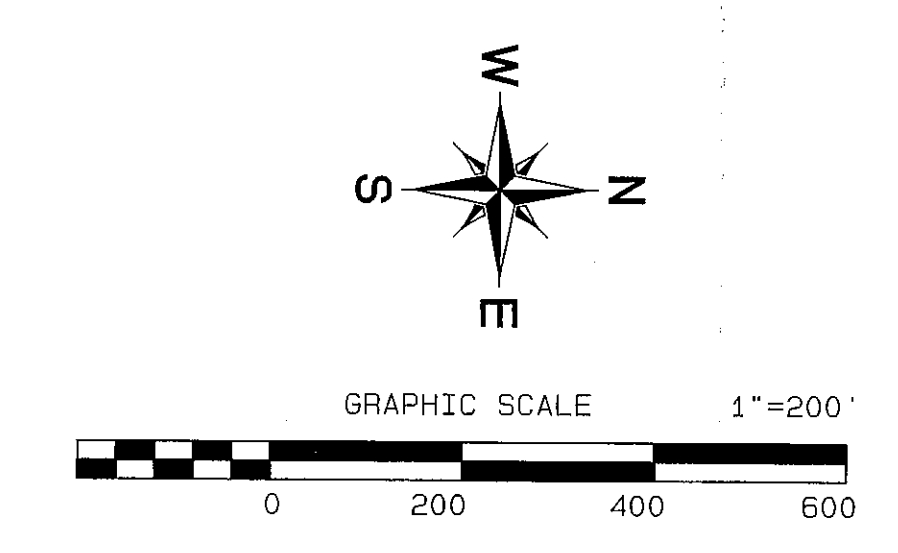
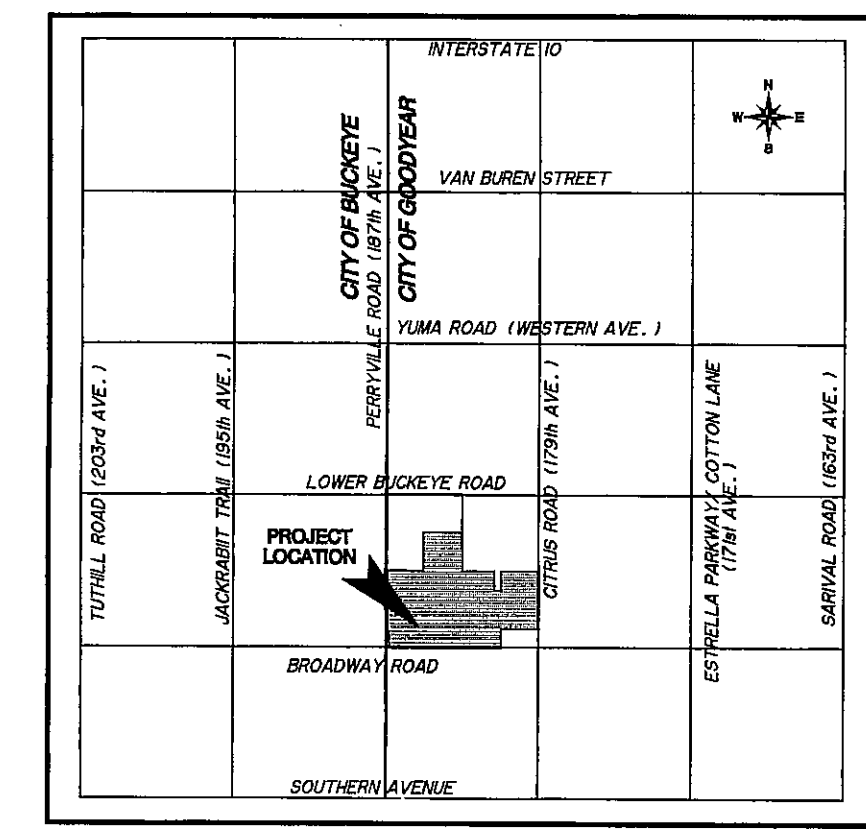
VICINITY MAP

- NOTES:
- 1) PER CITY OF GOODYEAR REQUIREMENTS THE MAXIMUM MANHOLE SPACING SHALL BE 400' FOR 8" - 15" SEWERS.
 - 2) ALL SEWER LINES ARE 8" UNLESS OTHERWISE NOTED.
 - 3) PROJECT SHALL CONFORM TO THE REGIONAL SEWER STUDY BEING PERFORMED BY CVL.
 - 4) CITY HAS APPROVED ALTERNATIVE ALIGNMENT OF OFF-SITE SEWER IF EASEMENTS THROUGH THE EL CIDRO DEVELOPMENT ARE NOT OBTAINABLE. SEE OFF-SITE SEWER DISPLAY FOR ALIGNMENT.

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05-50000001-012			
LAS BRISAS PHASE TWO GOODYEAR, ARIZONA PRELIMINARY PLAT SEWER LAYOUT			
GOODWIN & MARSHALL	Job No.: 10205A Date: JANUARY 2006 Scale: AS SHOWN	Design: MJB Draft: TSN Review: DMG	
CIVIL ENGINEERS-PLANNERS-SURVEYORS			SHEET: 12 of 20



UTILITY LEGEND	
	PROPOSED S.S. LINE W/ MANHOLE
	PROPOSED SANITARY SEWER SERVICE
	PROPOSED WATER LINE
	PROPOSED WATER VALVE
	PROPOSED FIRE HYDRANT
	PROPOSED REDUCER VALVE
	PROPOSED REDUCER VALVE
	EXISTING WATER LINE
	EXISTING WATER VAVLE
	EXISTING FIRE HYDRANT
	EXISTING S.S. LINE W/ MANHOLE
	FUTURE SANITARY SEWER LINE
	FUTURE WATER LINE

Water Demand Analysis
For
Las Brisas

Design Criteria: Subdivision Design Guidelines- Section 5.1 Water System Design, July 1997, City of Goodyear, Arizona

Development Statistics: The proposed development contains 912 residential lots.

DOMESTIC WATER FLOW CALCULATIONS

Average Day Water Demand:

1) Population Density = 2 - 3.99 DU/acre = 470.50 gal/day/dwelling unit*

2) Average Daily Demand for Las Brisas is therefore:
470.50 gal/day/unit x 912 units = 429,096 gal/day

Maximum Day Water Demand:

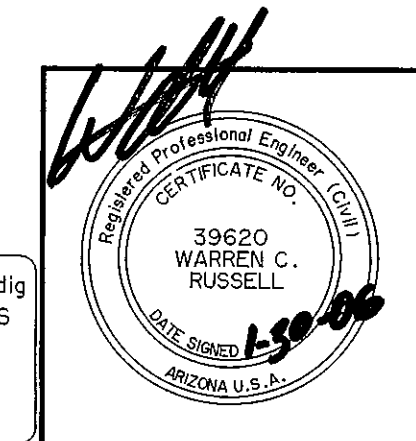
1) Average Day Demand times 2.0 + 1000gpm (Fire Flow)
429,096 gal/day x 2.0 + 1000gpm = 1,595.97 gpm

Peak Hour Water Demand:

1) Average Demand times 4.0 + 1000gpm (Fire Flow)
429,096 gal/day x 4.0 + 1000gpm = 2,191.93 gpm

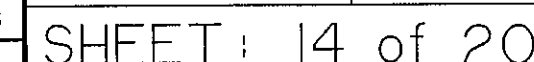
*Represents total water consumption - comprised of 193.7 gpd (inside use) and 276.7 gpd (outside use)

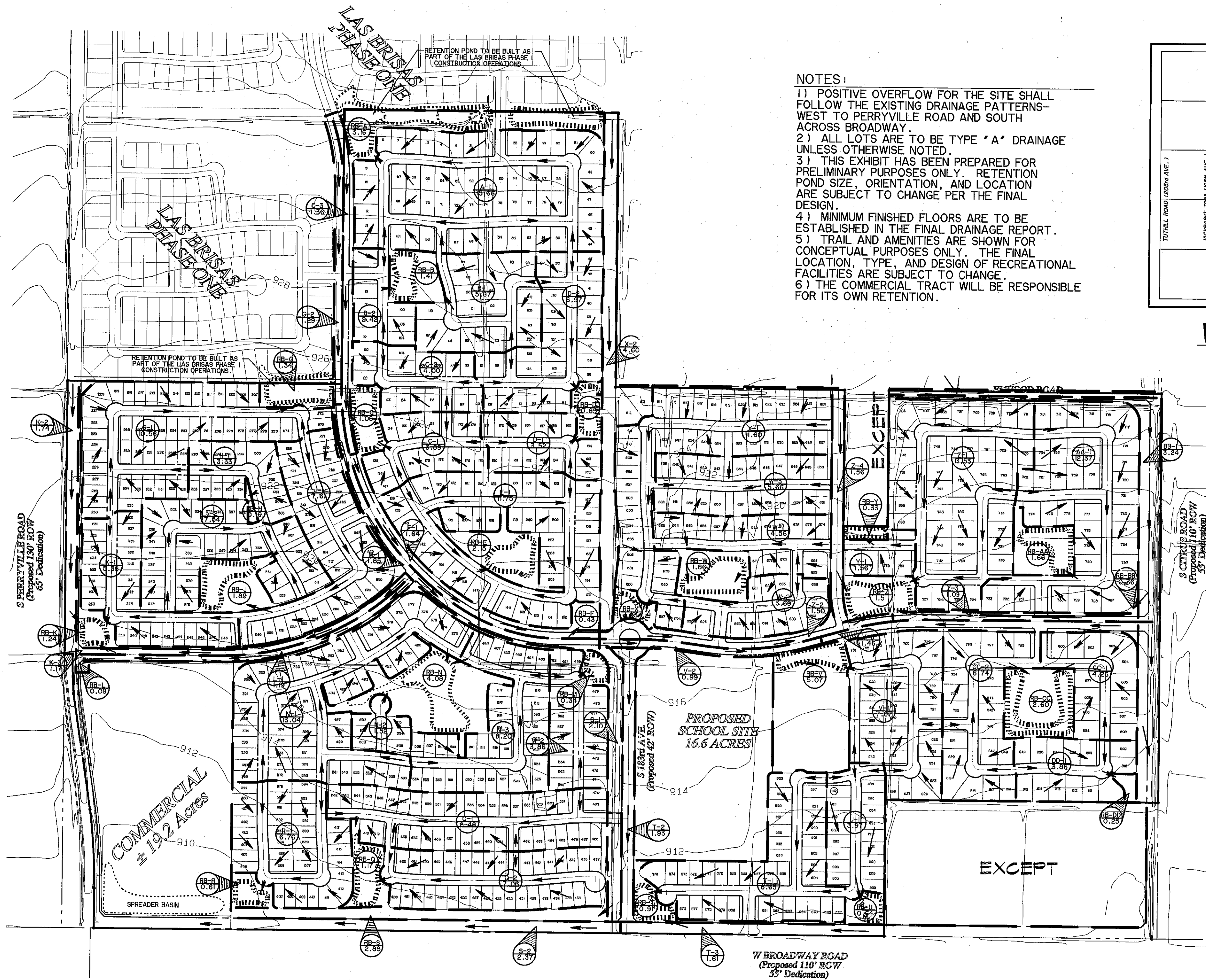
- NOTES:
- 1) ALL WATER LINES ARE 8" UNLESS OTHERWISE NOTED
 - 2) PER CITY OF GOODYEAR REQUIREMENTS FIRE HYDRANT SPACING SHALL BE 400' MAXIMUM IN SINGLE-FAMILY RESEDENTIAL ZONING.
 - 3) PROJECT SHALL CONFORM TO THE REGIONAL WATER STUDY BEING PERFORMED BY CVL.



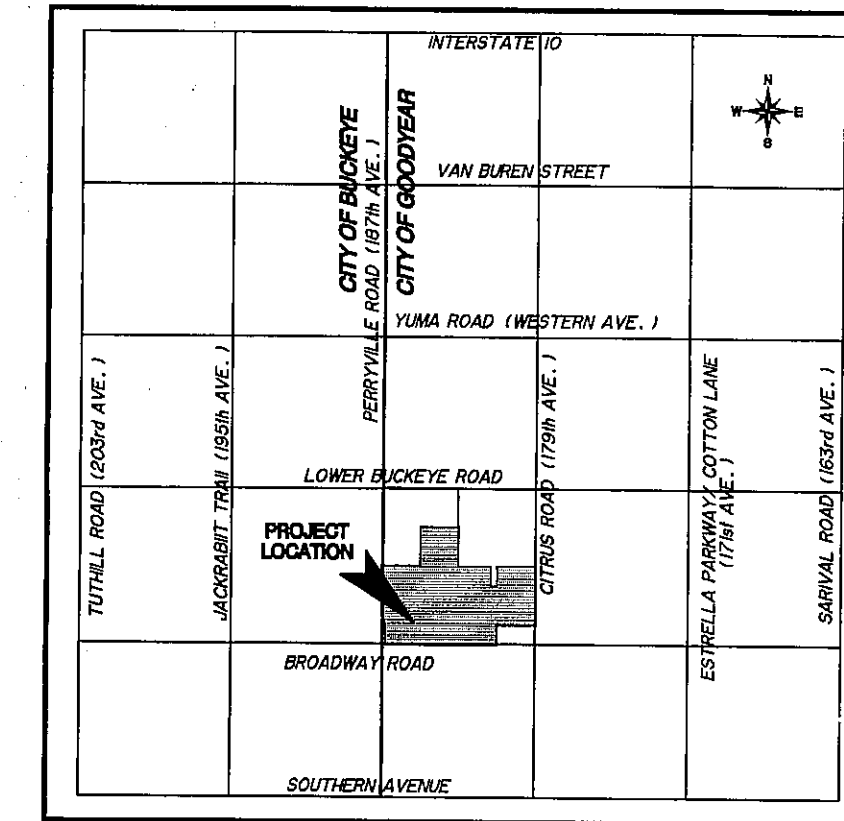
Two working days before you dig
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OUTSIDE MARICOPA COUNTY

05-50000001-013	
LAS BRISAS PHASE TWO GOODYEAR, ARIZONA PRELIMINARY PLAT WATER LAYOUT	
GOODWIN & MARSHALL	Job No. 10205A Design: MJB
CIVIL ENGINEERS-PLANNERS-SURVEYORS	Date: JANUARY 2006 Draft: TSN
3131 EAST CAMELBACK, SUITE 200, PHOENIX, ARIZONA 85016	Scale: AS SHOWN Review: DMG
SHEET 13 of 20	

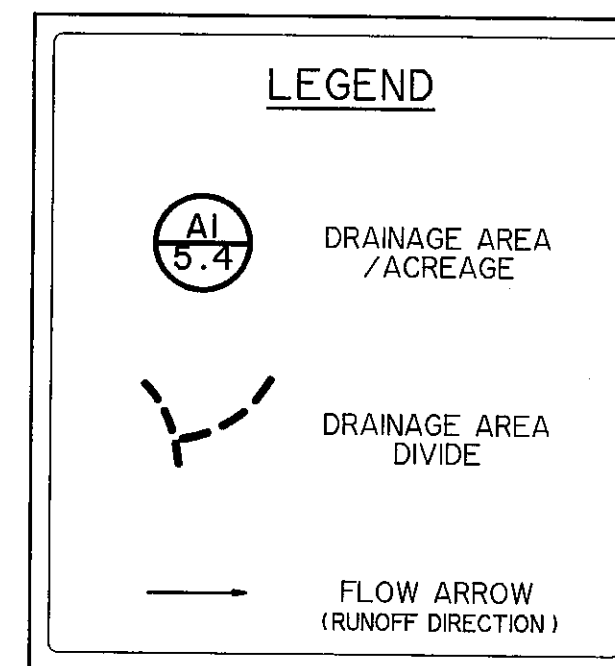




- NOTES:
- 1) POSITIVE OVERFLOW FOR THE SITE SHALL FOLLOW THE EXISTING DRAINAGE PATTERNS WEST TO PERRYVILLE ROAD AND SOUTH ACROSS BROADWAY.
 - 2) ALL LOTS ARE TO BE TYPE "A" DRAINAGE UNLESS OTHERWISE NOTED.
 - 3) THIS EXHIBIT HAS BEEN PREPARED FOR PRELIMINARY PURPOSES ONLY. RETENTION POND SIZE, ORIENTATION, AND LOCATION ARE SUBJECT TO CHANGE PER THE FINAL DESIGN.
 - 4) MINIMUM FINISHED FLOORS ARE TO BE ESTABLISHED IN THE FINAL DRAINAGE REPORT.
 - 5) TRAIL AND AMENITIES ARE SHOWN FOR CONCEPTUAL PURPOSES ONLY. THE FINAL LOCATION, TYPE, AND DESIGN OF RECREATIONAL FACILITIES ARE SUBJECT TO CHANGE.
 - 6) THE COMMERCIAL TRACT WILL BE RESPONSIBLE FOR ITS OWN RETENTION.



VICINITY MAP



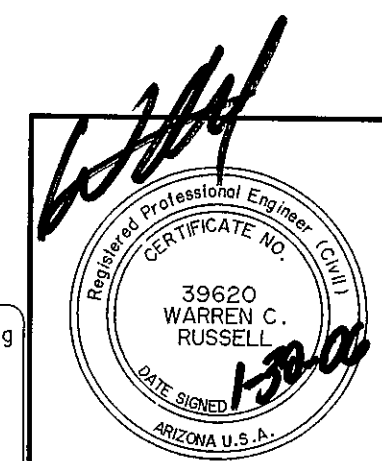
Drainage Area	Land Use Description	Area (acres)	Runoff Coefficient (C)	Precip. Depth (in)	Required Retention (ac-ft)	Retention Basin I.D.	Total Contr. Area (acres)	Total Ret. Vol. (ac-ft)	Available Retention (ac-ft)	Excess Retention (ac-ft)
A-1	Residential	15.66	0.62	0.25	2.43					
BB-A	Open Space	3.16	0.31	0.25	0.24	A	18.8	2.7	2.7	0.0
B-1	Residential	5.67	0.62	0.25	0.91					
B-2	Residential	2.42	0.62	0.25	0.38	B	9.7	1.4	1.8	0.4
BB-B	Open Space	1.41	0.31	0.25	0.11					
C-1	Residential	3.89	0.62	0.25	0.60					
C-2	Residential	4.00	0.62	0.25	0.62	C	10.3	1.6	2.7	1.1
C-3	ROW	1.35	0.62	0.25	0.28					
BB-C	Open Space	1.08	0.31	0.25	0.08					
D-1	Residential	3.52	0.62	0.25	0.55					
D-2	Residential	5.97	0.62	0.25	1.08	D	11.3	1.7	2.1	0.4
BB-D	Open Space	0.82	0.31	0.25	0.07					
E-1	Residential	11.75	0.62	0.25	1.82	E	13.9	2.0	2.7	0.7
BB-E	Open Space	2.15	0.31	0.25	0.17					
F-1	ROW	1.64	0.62	0.25	0.34					
BB-F	Open Space	0.43	0.31	0.25	0.03	F	2.1	0.4	1.1	0.7
G-1	Residential	10.56	0.62	0.25	1.64					
G-2	ROW	1.29	0.62	0.25	0.26	G	13.2	2.0	2.3	0.3
BB-G	Open Space	1.34	0.31	0.25	0.10					
H-1	Residential	4.33	0.62	0.25	0.52					
BB-H	Open Space	0.16	0.31	0.25	0.01	H	3.5	0.5	0.5	0.0
J-1	Residential	7.61	0.62	0.25	1.18					
J-2	Residential	7.54	0.62	0.25	1.17	J	16.0	2.4	2.4	0.0
BB-J	Open Space	0.85	0.31	0.25	0.07					
K-1	Residential	5.38	0.62	0.25	0.83					
K-2	ROW	1.74	0.62	0.25	0.36	K	9.5	1.5	1.5	0.0
K-3	ROW	1.17	0.62	0.25	0.24					
BB-K	Open Space	0.24	0.31	0.25	0.02					
L-1	ROW	1.19	0.62	0.25	0.24					
BB-L	Open Space	0.08	0.62	0.25	0.02	L	1.2	0.2	0.2	0.0
M-1	ROW	1.85	0.62	0.25	0.38					
M-2	Residential	3.86	0.62	0.25	0.60	M	6.1	1.0	1.1	0.1
BB-M	Open Space	0.42	0.31	0.25	0.03					
N-1	Residential	13.04	0.62	0.25	2.02					
N-2	Residential	1.56	0.62	0.25	0.24					
N-3	Residential	0.25	0.62	0.25	0.02	N	26.8	3.8	5.1	1.3
BB-N	Open Space	4.08	0.31	0.25	0.32					
O-1	Residential	8.49	0.62	0.25	1.31					
O-2	Residential	7.06	0.62	0.25	1.09	O	16.7	2.5	2.9	0.4
BB-O	Open Space	1.11	0.31	0.25	0.05					
P-1	Residential	5.75	0.62	0.25	0.89					
BB-P	Open Space	0.61	0.31	0.25	0.05	P	7.4	1.1	1.5	0.4
S-1	Open Space	2.10	0.31	0.25	0.16					
S-2	Open Space	2.37	0.62	0.25	0.49	S	7.4	0.9	1.0	0.1
BB-S	Open Space	2.88	0.31	0.25	0.22					
T-1	Residential	8.55	0.62	0.25	1.34					
T-2	ROW	1.93	0.62	0.25	0.40	T	13.1	2.1	2.3	0.2
T-3	ROW	1.51	0.62	0.25	0.33					
BB-T	Open Space	0.81	0.31	0.25	0.07					
U-1	Residential	3.97	0.62	0.25	0.62	U	4.6	0.7	0.8	0.1
BB-U	Open Space	0.64	0.31	0.25	0.05					
V-1	Residential	7.57	0.62	0.25	1.19					
V-2	ROW	0.99	0.62	0.25	0.20	V	15.2	2.1	2.1	0.0
V-3	ROW	1.46	0.62	0.25	0.30					
BB-V	Open Space	5.07	0.31	0.25	0.38					
W-1	Residential	4.58	0.62	0.25	0.71					
W-2	Residential	3.89	0.62	0.25	0.57	W	15.8	2.3	4.0	1.7
W-3	Residential	5.66	0.62	0.25	0.87					
BB-W	Open Space	1.85	0.31	0.25	0.14					
X-1	Residential	11.60	0.62	0.25	1.80	X	17.3	2.3	3.1	0.8
X-2	Residential	4.68	0.31	0.25	0.38					
BB-X	Open Space	1.23	0.31	0.25	0.10					
Y-1	Residential	1.40	0.62	0.25	0.22	Y	1.7	0.2	0.8	0.5
BB-Y	Open Space	0.33	0.31	0.25	0.03					
Z-1	Residential	13.83	0.62	0.25	2.03					
Z-2	ROW	1.50	0.62	0.25	0.31	Z	19.2	3.1	3.8	0.7
Z-3	ROW	1.09	0.62	0.25	0.22					
Z-4	ROW	1.58	0.62	0.25	0.32					
BB-Z	Open Space	1.51	0.31	0.25	0.12					
AA-1	Residential	12.38	0.62	0.25	1.92	AA	14.0	2.0	2.1	0.1
BB-AA	Open Space	1.85	0.31	0.25	0.13					
BB-1	ROW	3.24	0.62	0.25	0.50					
BB-2	ROW	0.91	0.62	0.25	0.19	BB	4.5	0.7	0.8	0.1
BB-BB	Open Space	0.35	0.31	0.25	0.03					
CC-1	Residential	4.26	0.62	0.25	0.66					
CC-2	Residential	6.74	0.62	0.25	1.04	CC	13.6	1.9	3.3	1.4
BB-CC	Open Space	2.50	0.31	0.25	0.20					
DD-1	Residential	3.85	0.62	0.25	0.60					
BB-DD	Open Space	0.25	0.31	0.25	0.02	DD	4.1	0.6	0.7	0.1

Estimated Required Retention Volume for the 100-yr, 6-hr Storm Event (Per City of Goodyear Regulations)

where:

V=Volume of runoff (ac-ft)
P=Precipitation depth (in)
C=Runoff coefficient of contributing areas
A=Contributing Area (acres)

Per U.S. Weather Bureau Isopluvials (1960)
P 100,6 = 3.0 inches or 0.25 feet



05-50000001-015

LAS BRISAS
PHASE TWO
GOODYEAR, ARIZONA
PRELIMINARY PLAT
GRADING & DRAINAGE LAYOUT

GOODWIN & MARSHALL

CIVIL ENGINEERS-PLANNERS-SURVEYORS

Job No. : 10205A
Date : JANUARY 2006
Scale : AS SHOWN

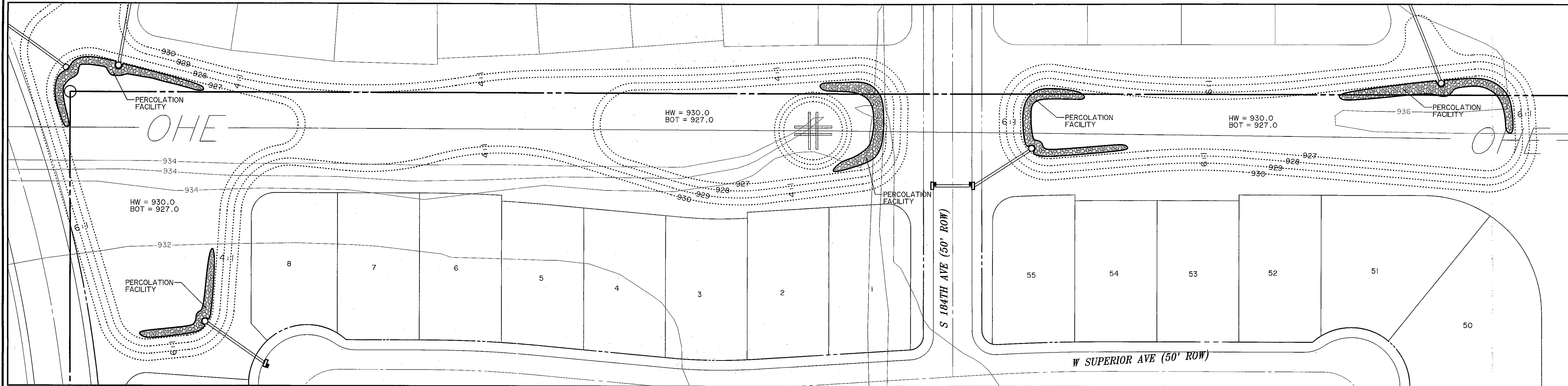
Design : MJB
Draft : TSN
Review : DMG

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OUTSIDE MARICOPA COUNTY

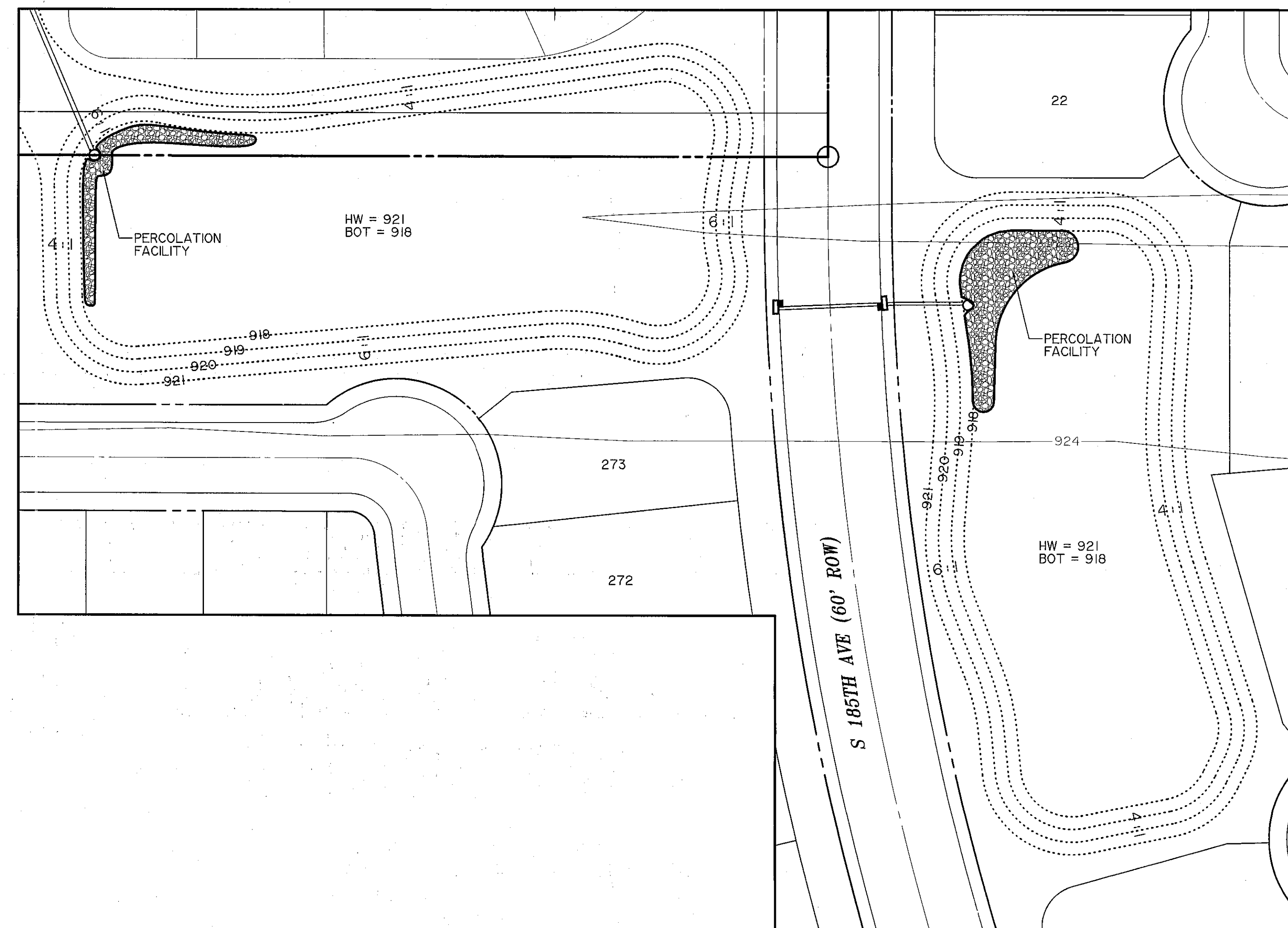
39620
WARREN C.
RUSSELL
STATE OF ARIZONA
REGISTERED PROFESSIONAL ENGINEER

SHEET : 15 of 20

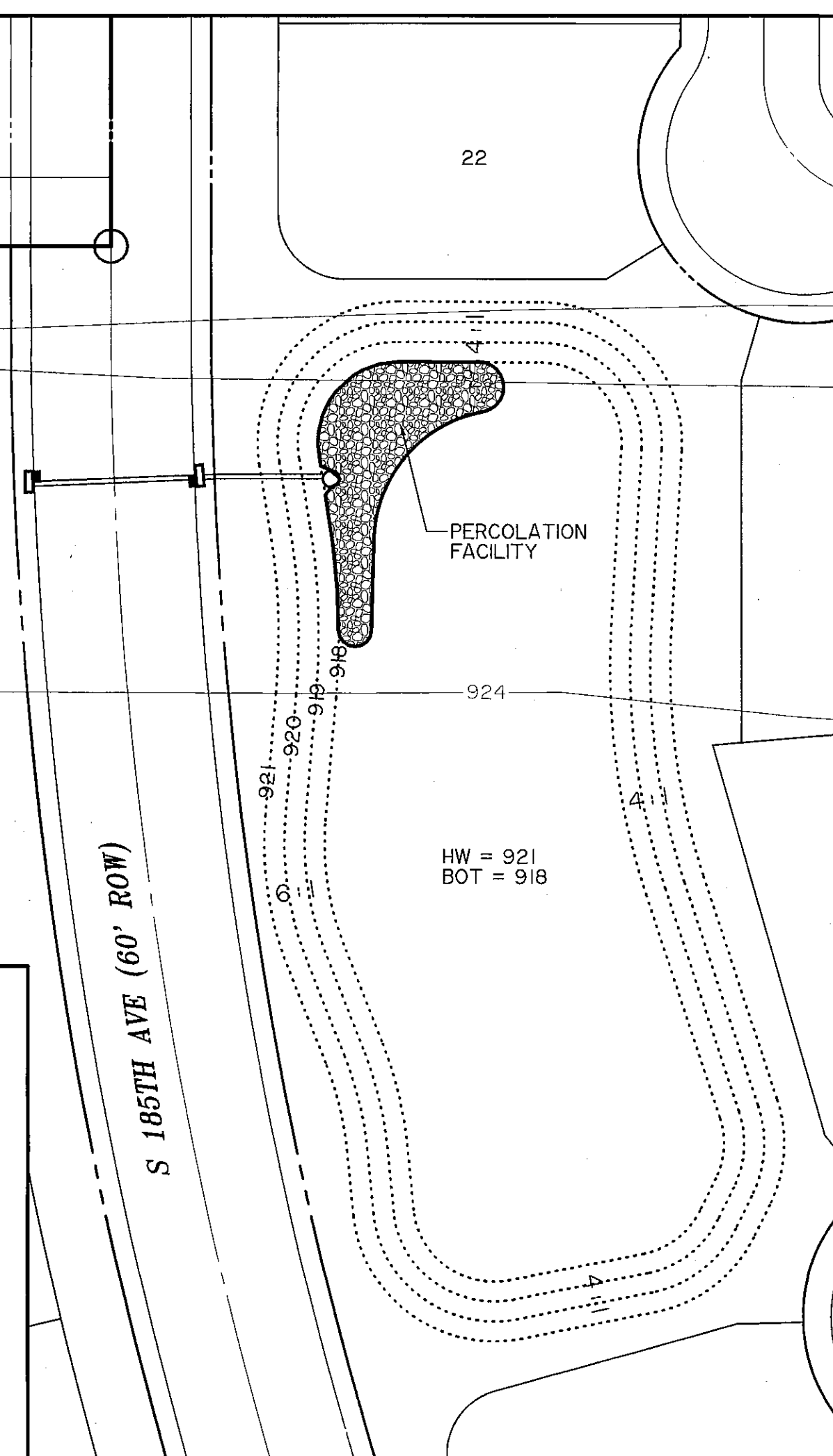
RETENTION BASIN "A"



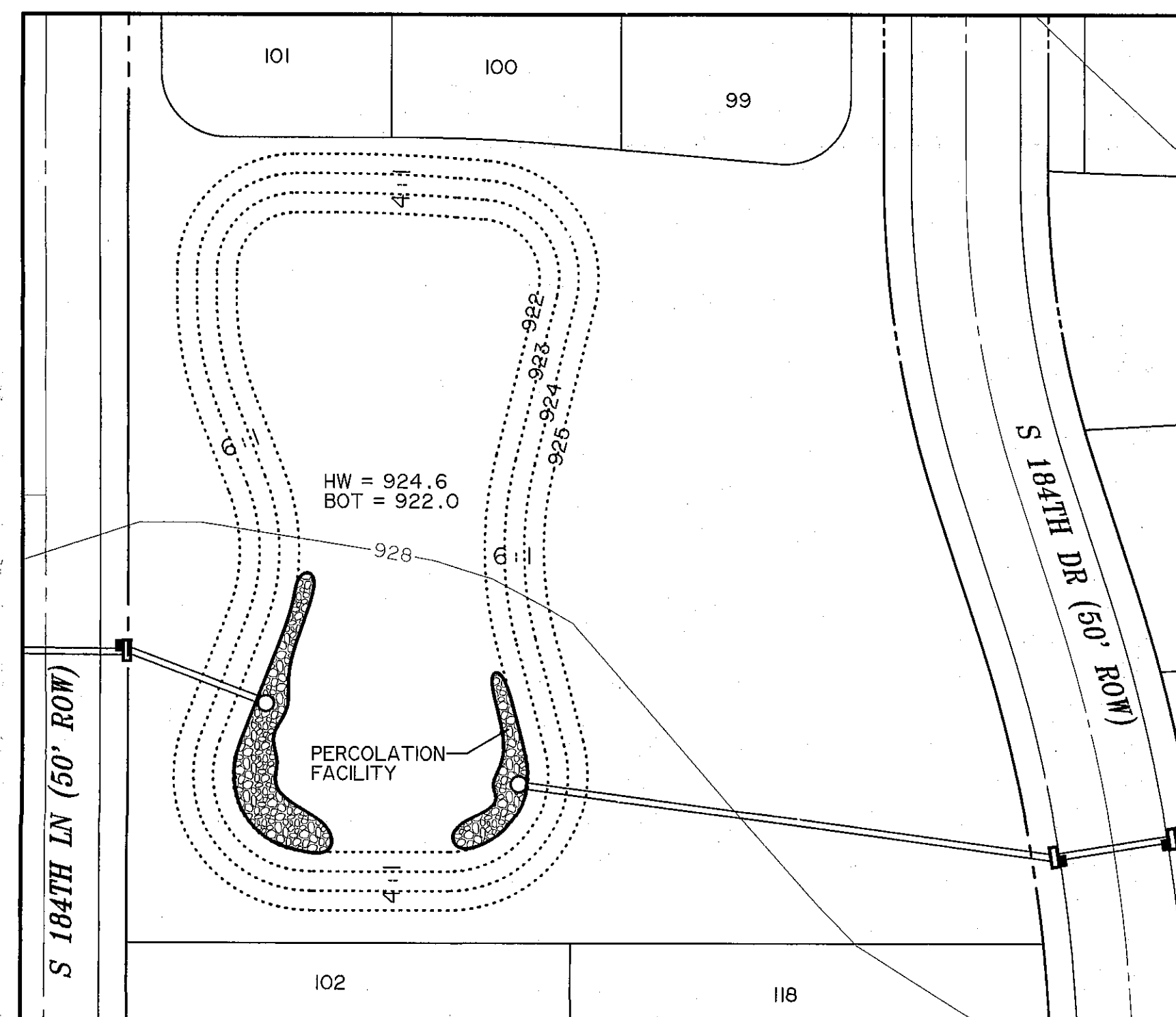
RETENTION BASIN "G"



RETENTION BASIN "C"

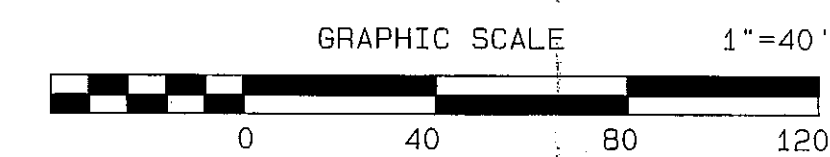


RETENTION BASIN "B"



RETENTION BASIN NOTES:

- 1) PERCOLATION RATES SHALL BE DETERMINED AS PART OF THE FINAL CONSTRUCTION PLAN DESIGN.
- 2) POSITIVE OVERFLOW FOR THE SITE SHALL FOLLOW THE EXISTING DRAINAGE PATTERNS.
- 3) ALL LOTS ARE TO BE TYPE "A" DRAINAGE UNLESS OTHERWISE NOTED.
- 4) THIS EXHIBIT HAS BEEN PREPARED FOR PRELIMINARY PURPOSES ONLY. RETENTION POND SIZE, ORIENTATION, AND LOCATION ARE SUBJECT TO CHANGE PER THE FINAL DESIGN.
- 5) MINIMUM FINISHED FLOORS ARE TO BE ESTABLISHED IN THE FINAL DRAINAGE REPORT.
- 6) TRAIL AND AMENITIES ARE SHOWN FOR CONCEPTUAL PURPOSES ONLY. THE FINAL LOCATION, TYPE, AND DESIGN OF RECREATIONAL FACILITIES ARE SUBJECT TO CHANGE.
- 7) MAXIMUM SIDE SLOPES ON RETENTION PONDS SHALL BE 4:1 IN AREAS WITH NO OR LIMITED PEDESTRIAN ACCESS. OTHERWISE THE MAXIMUM SIDE SLOPE SHALL BE 6:1.
- 8) ALL RETENTION POND AREAS ARE TO BE MAINTAINED BY THE HOA.
- 9) REFER TO SHEET 15 FOR RETENTION BASIN LOCATIONS.
- 10) PERCOLATION FACILITIES OR APPROVED ALTERNATIVE SHALL BE DETAILED IN FINAL CONSTRUCTION PLANS.

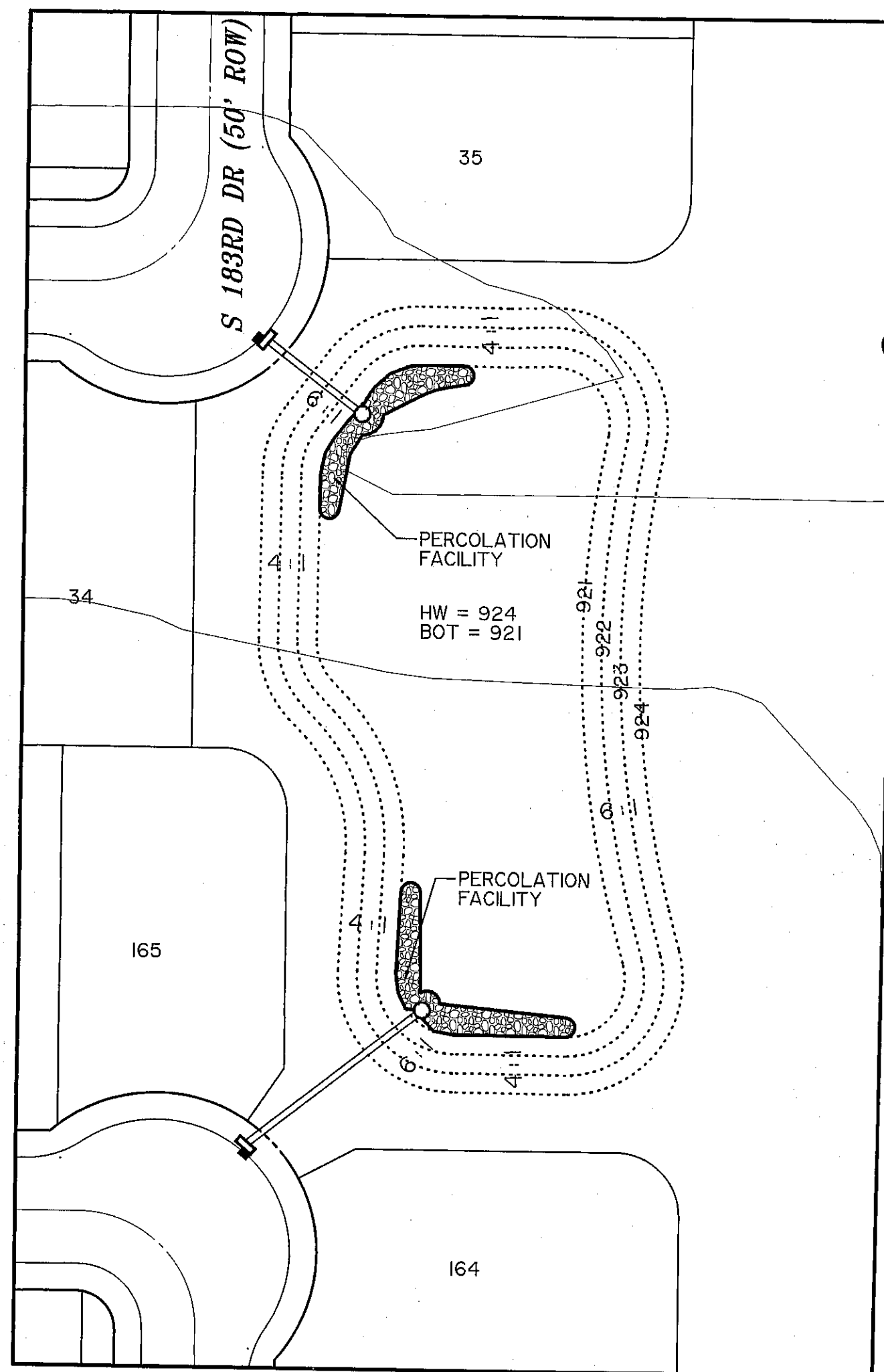


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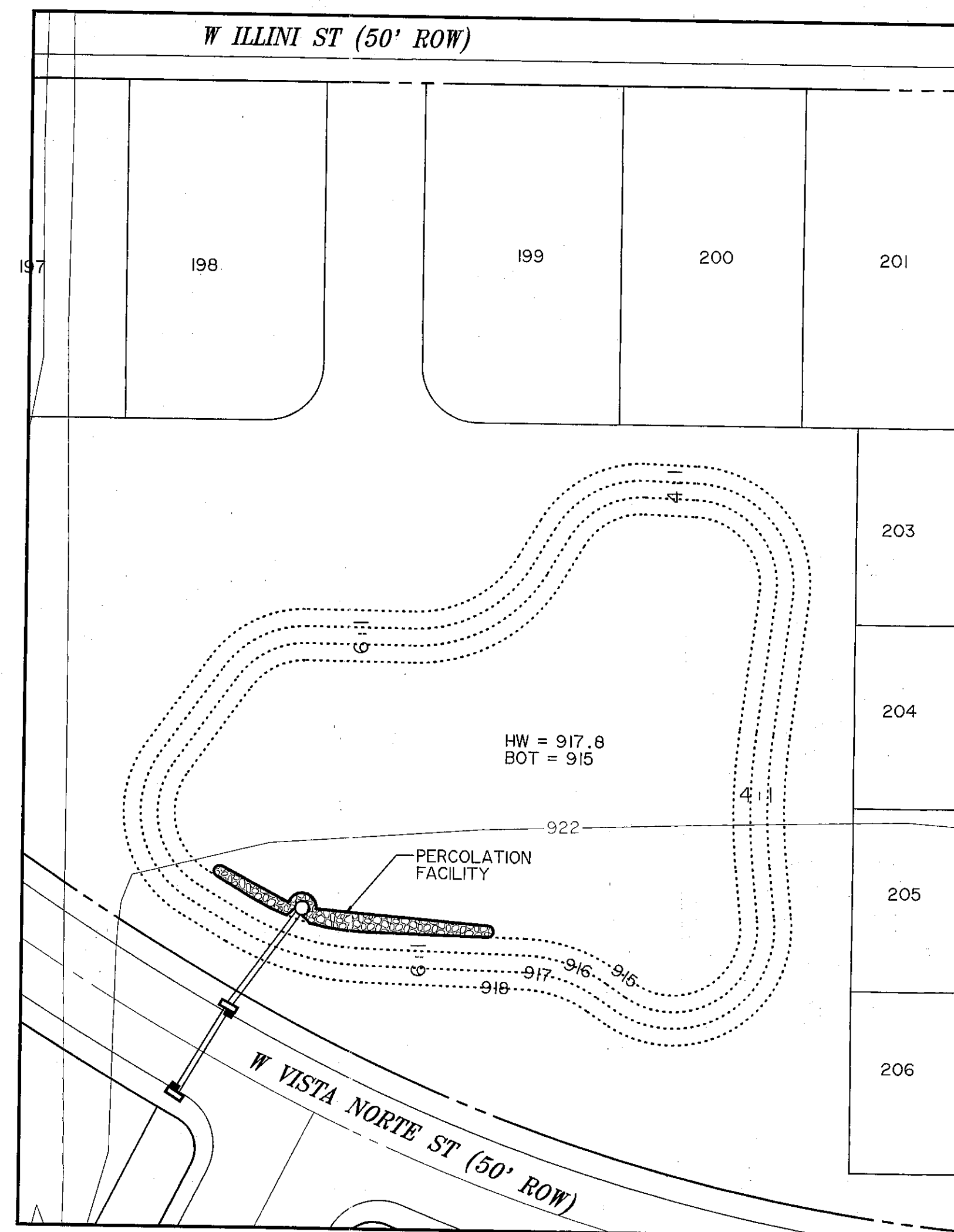


05-50000001-016			
LAS BRISAS PHASE TWO GOODYEAR, ARIZONA PRELIMINARY PLAT RETENTION DETAILS			
GOODWIN & MARSHALL	Job No. 10205A	Design MJB	
CIVIL ENGINEERS-PLANNERS-SURVEYORS	Date JANUARY 2006	Draft TSN	
	Scale AS SHOWN	Review DMG	
3131 EAST CAMELBACK, SUITE 205, PHOENIX, ARIZONA 85016			SHEET 16 of 20

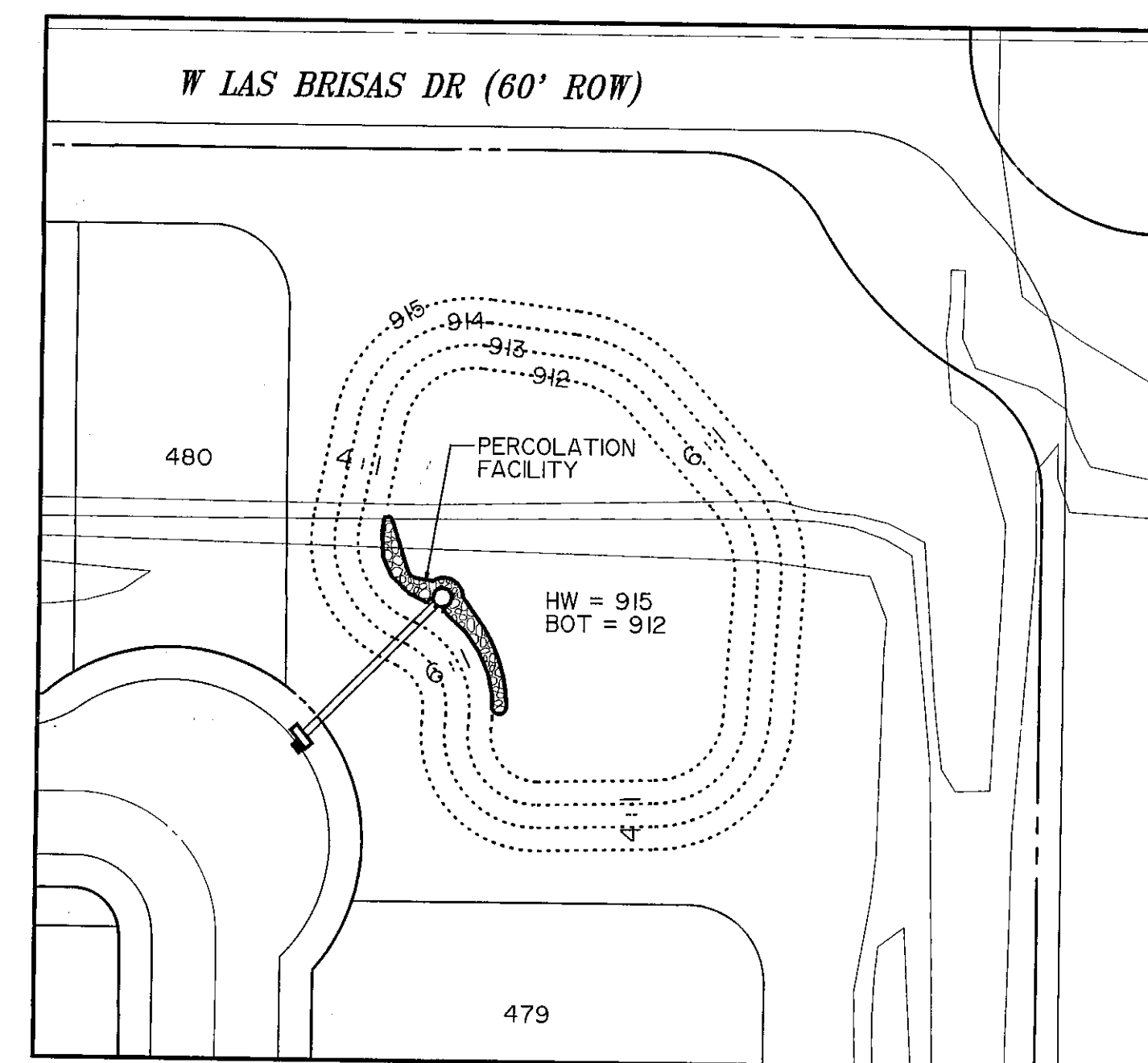
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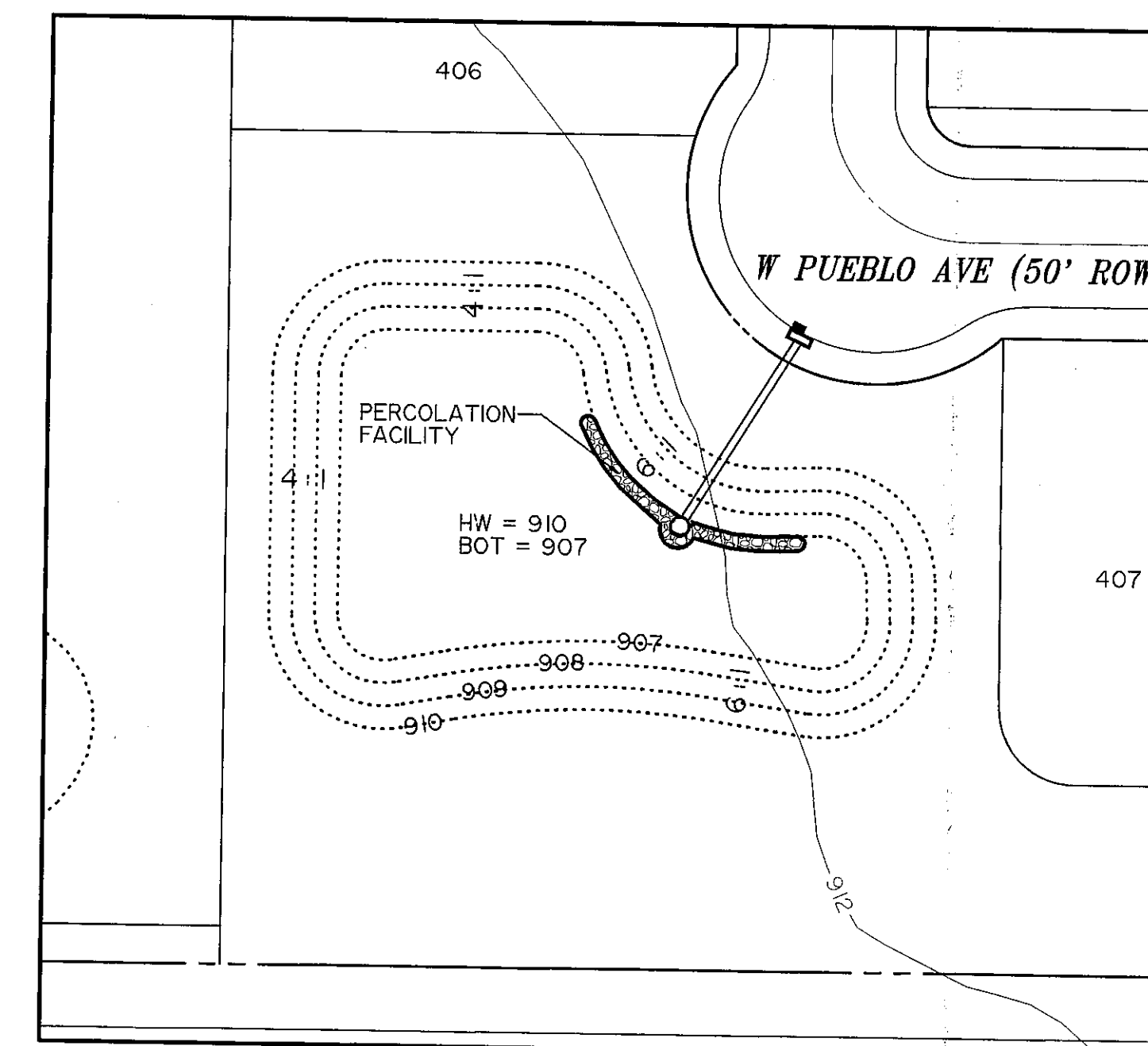
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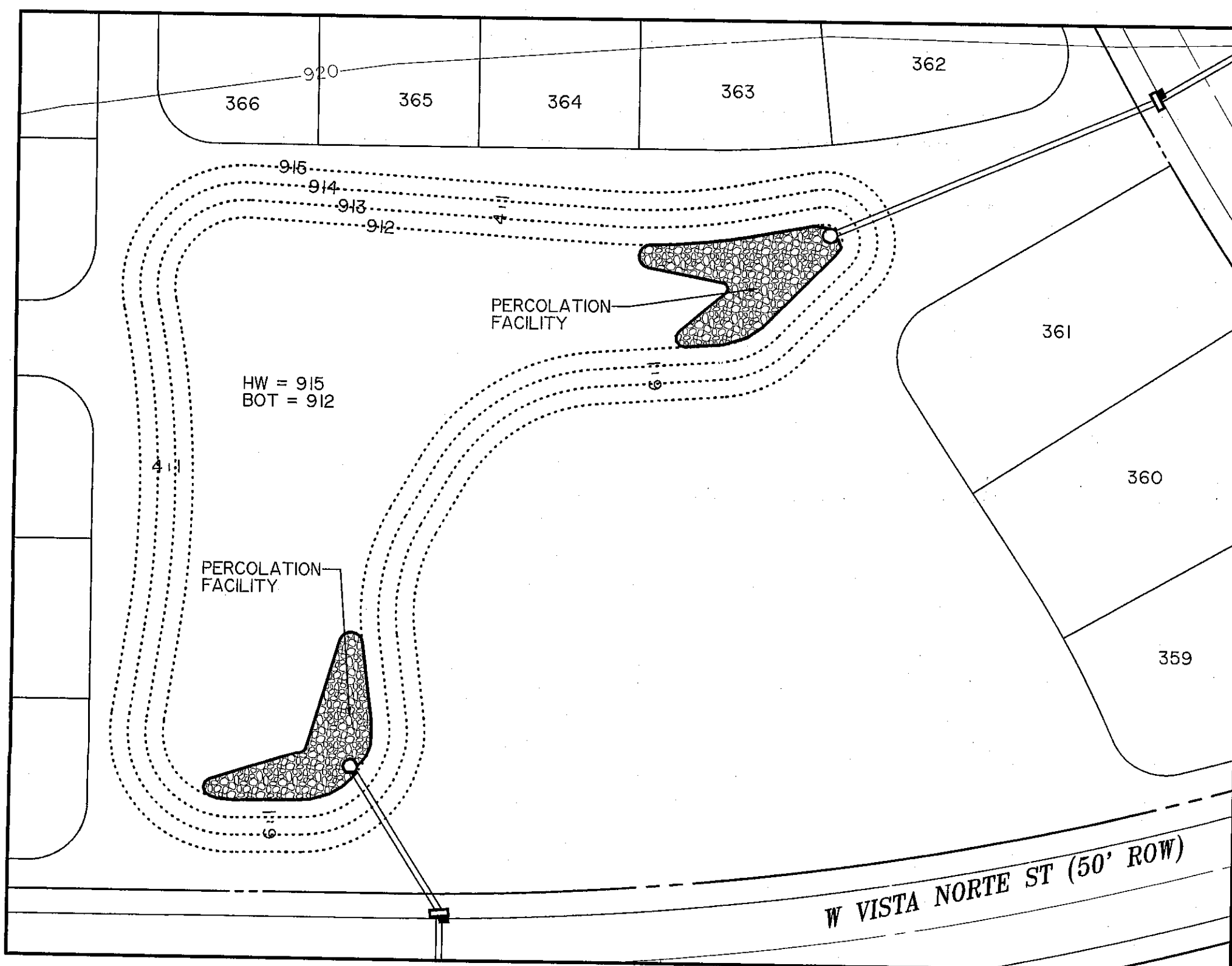
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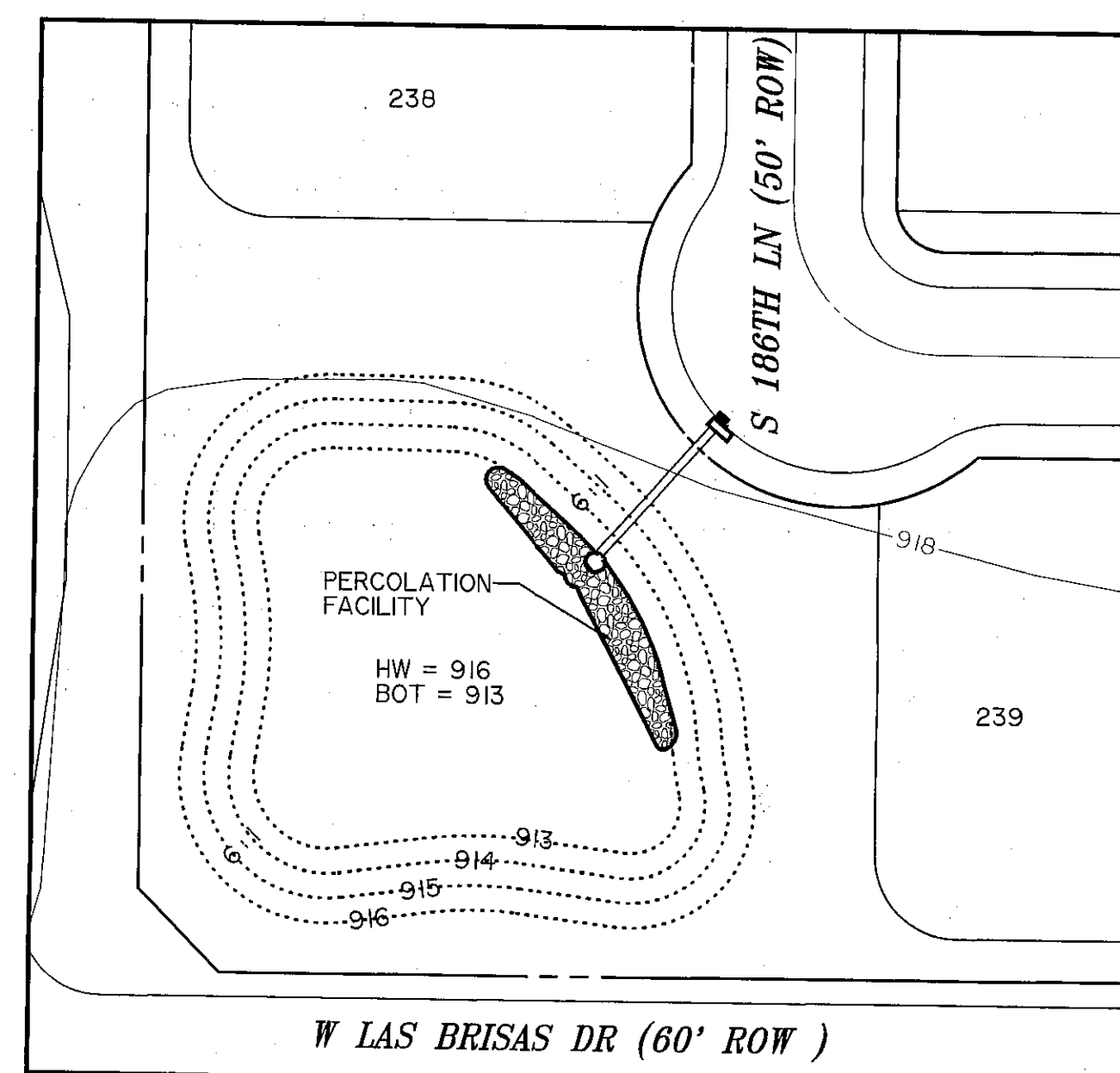
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RETENTION BASIN "J"

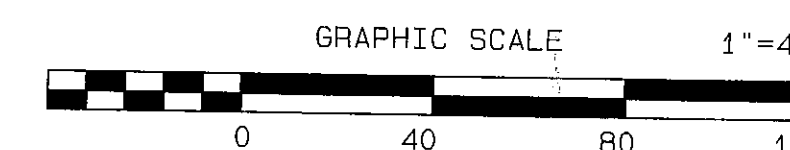
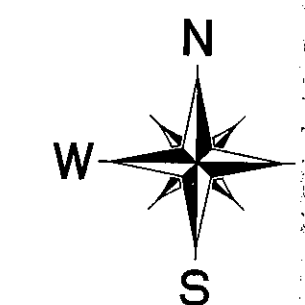


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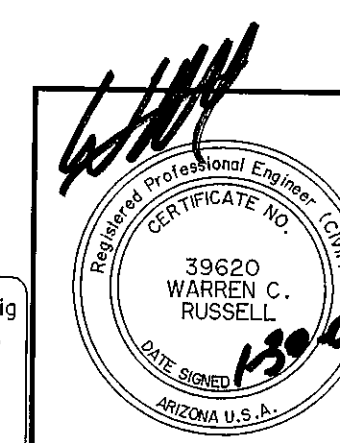


RETENTION BASIN NOTES:

- 1) PERCOLATION RATES SHALL BE DETERMINED AS PART OF THE FINAL CONSTRUCTION PLAN DESIGN.
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- 4) THIS EXHIBIT HAS BEEN PREPARED FOR PRELIMINARY PURPOSES ONLY. RETENTION POND SIZE, ORIENTATION, AND LOCATION ARE SUBJECT TO CHANGE PER THE FINAL DESIGN.
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- 9) REFER TO SHEET 15 FOR RETENTION BASIN LOCATIONS.
- 10) PERCOLATION FACILITIES OR APPROVED ALTERNATIVE SHALL BE DETAILED IN FINAL CONSTRUCTION PLANS.

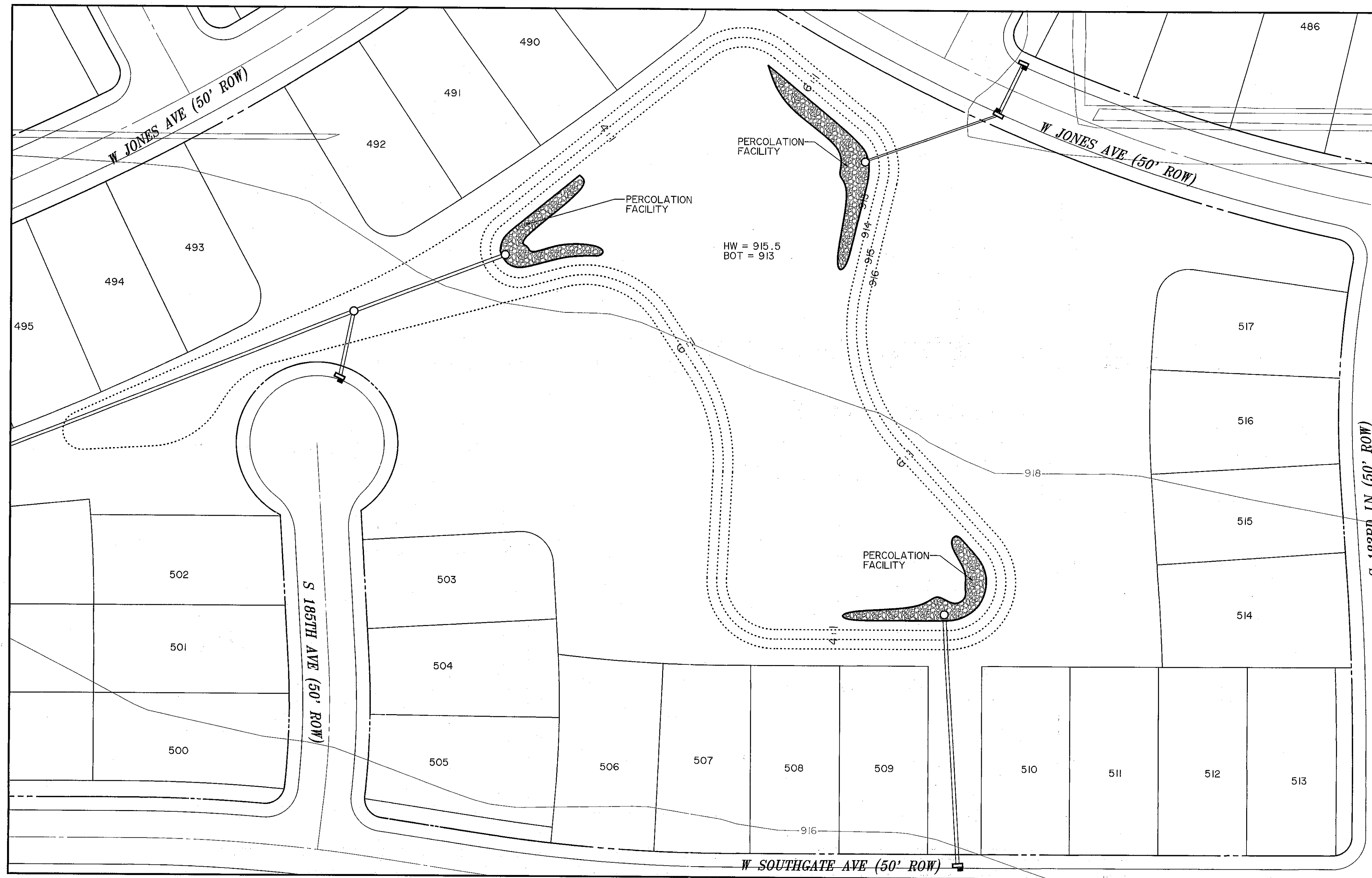


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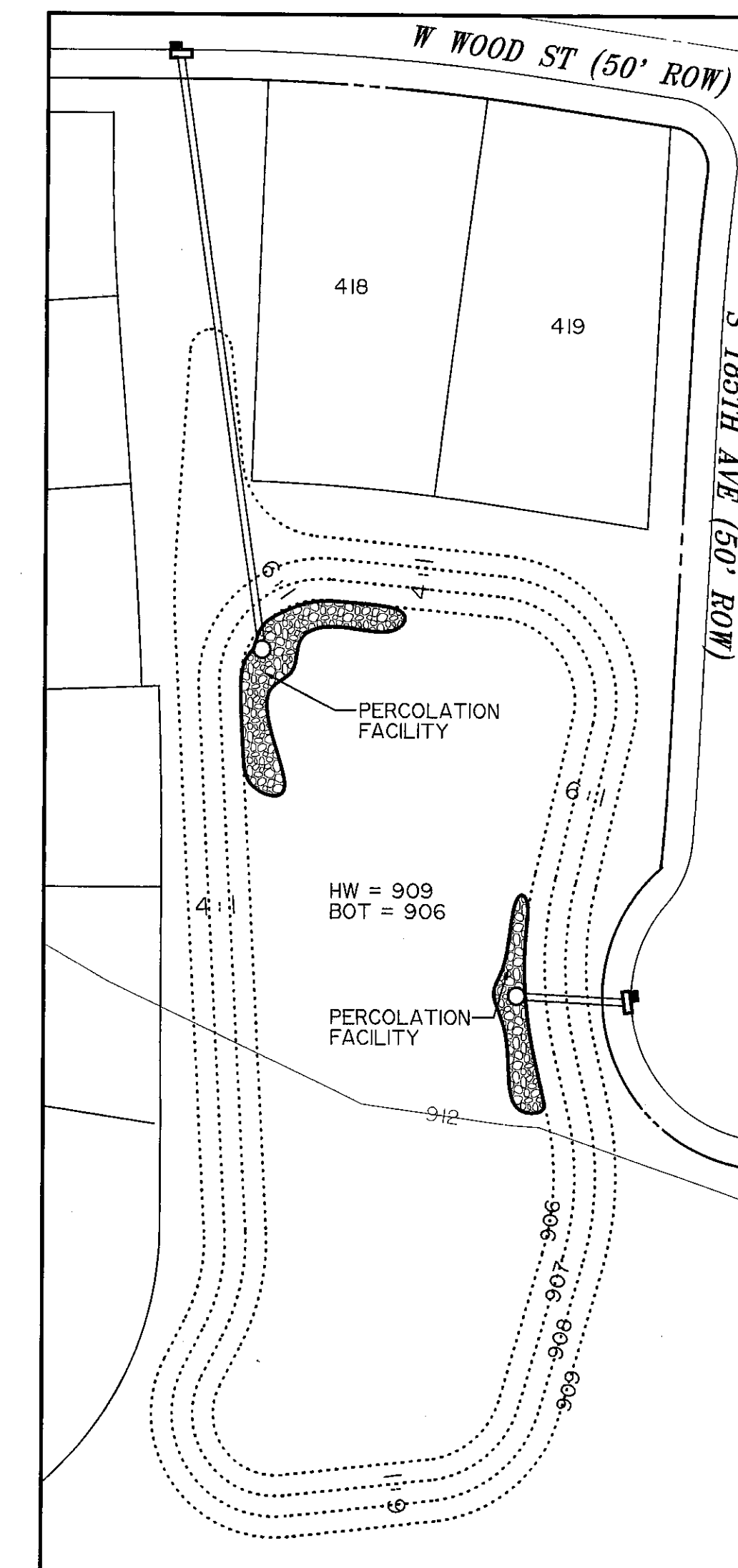


05-50000001-017			
LAS BRISAS PHASE TWO GOODYEAR, ARIZONA PRELIMINARY PLAT RETENTION DETAILS			
GOODWIN & MARSHALL	Job No. 10205A	Design: MB	
CIVIL ENGINEERS-PLANNERS-SURVEYORS	Date: JANUARY 2006	Draft: TSN	
3131 EAST CAMELBACK, SUITE 200, PHOENIX, ARIZONA 85016	Scale: AS SHOWN	Review: DMG	
			SHEET: 17 of 20

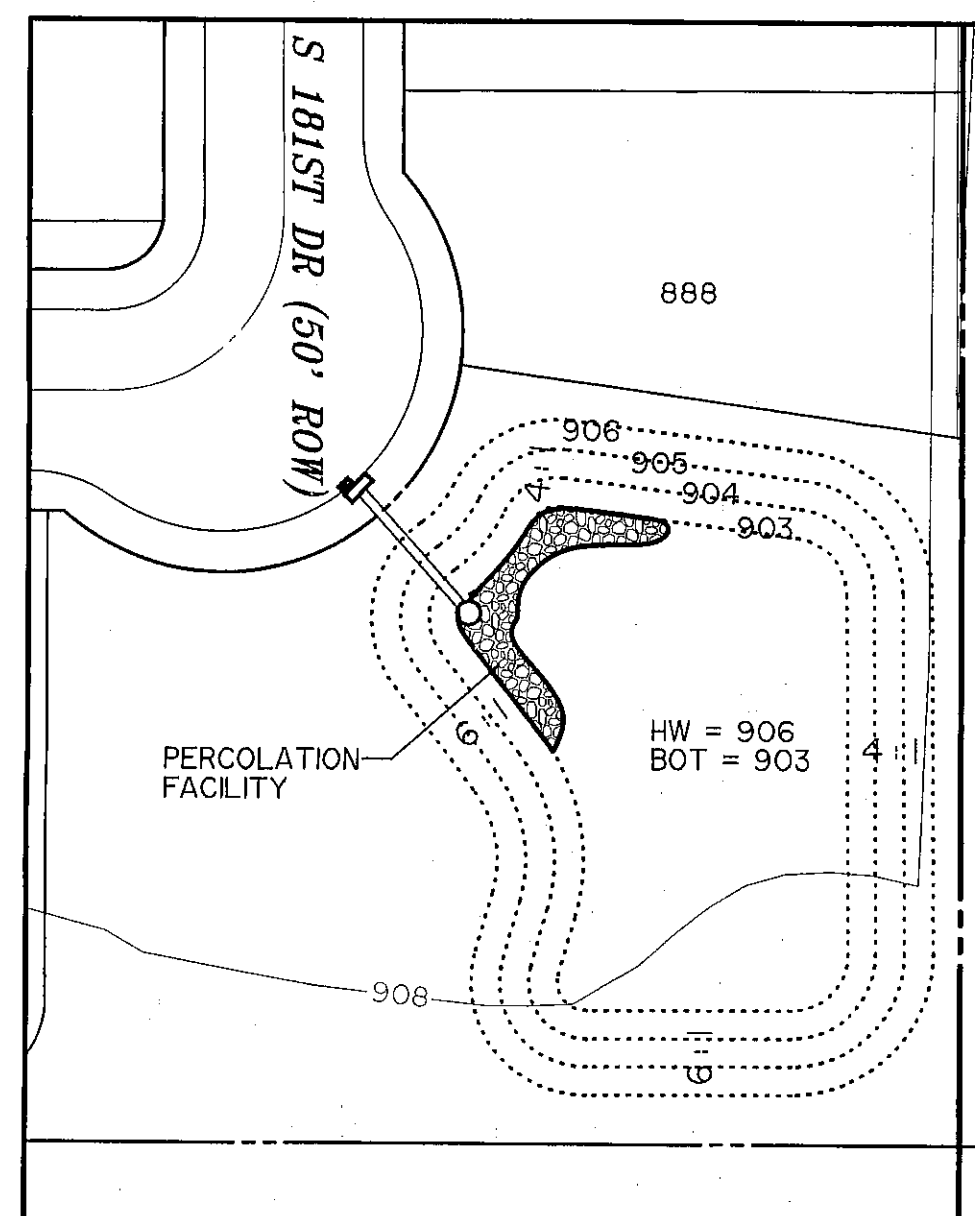
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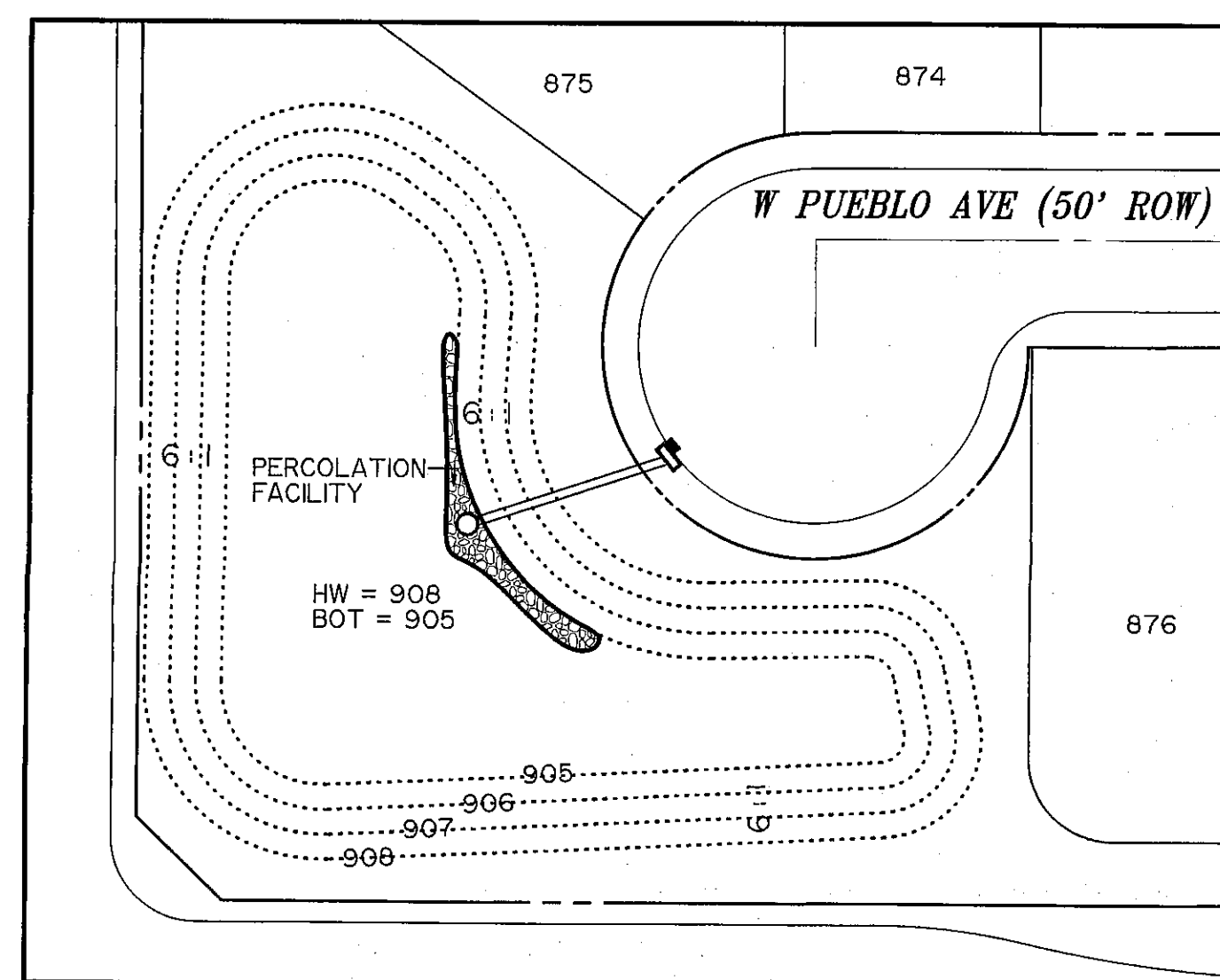
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RETENTION BASIN "U"



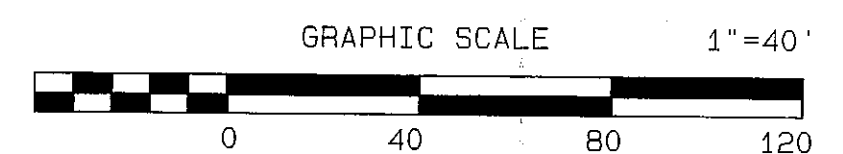
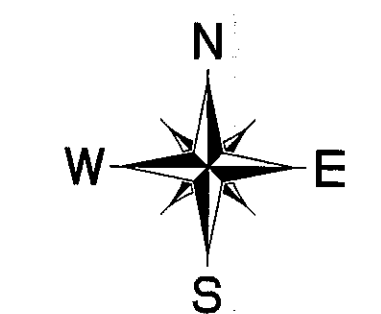
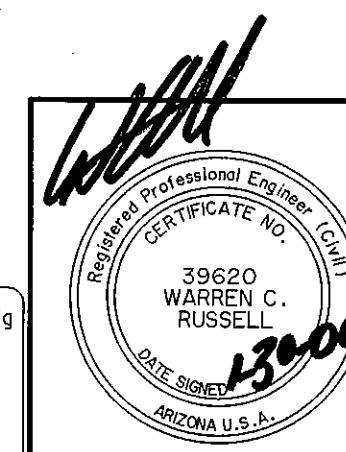
RETENTION BASIN "T"



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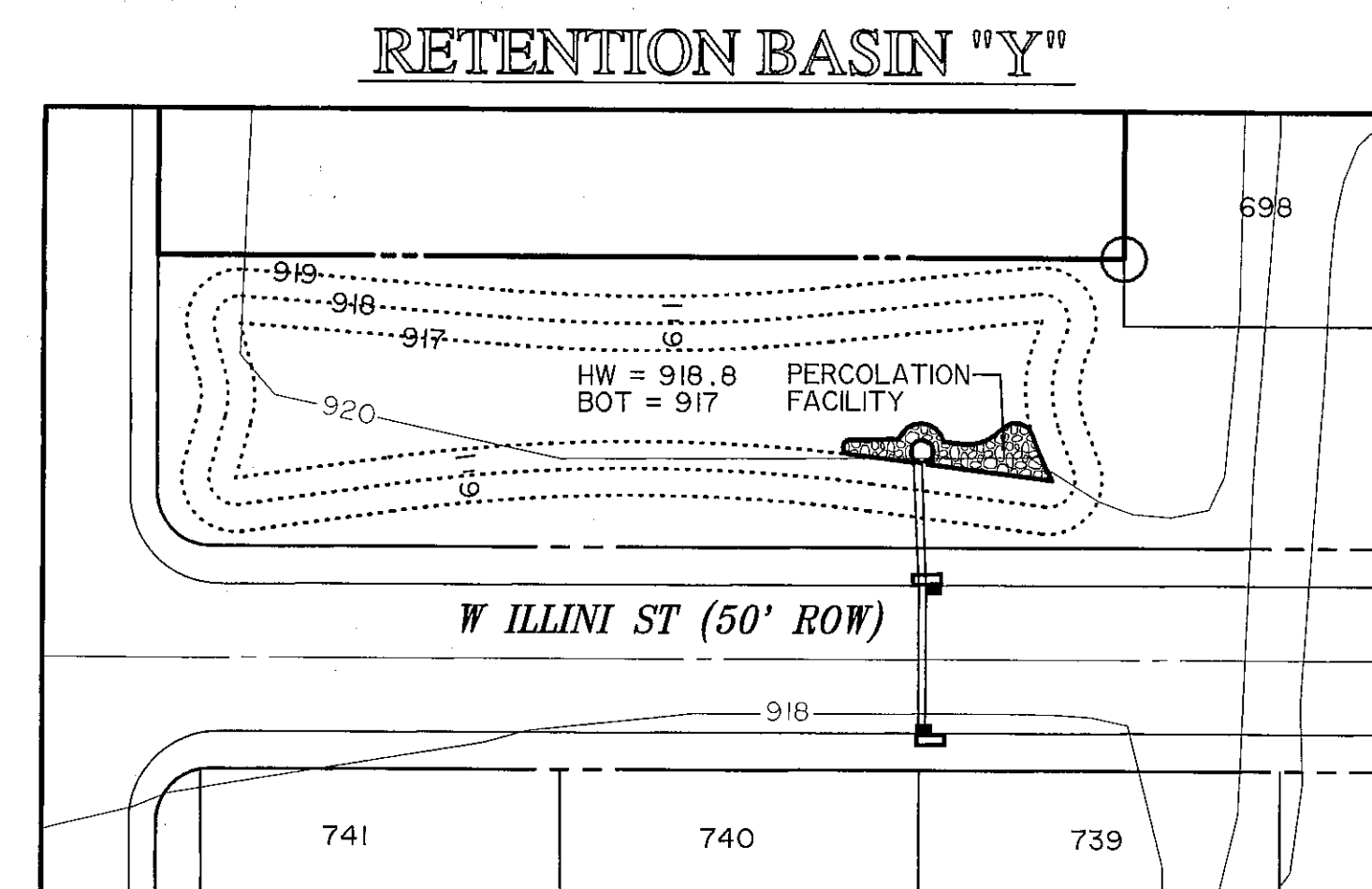
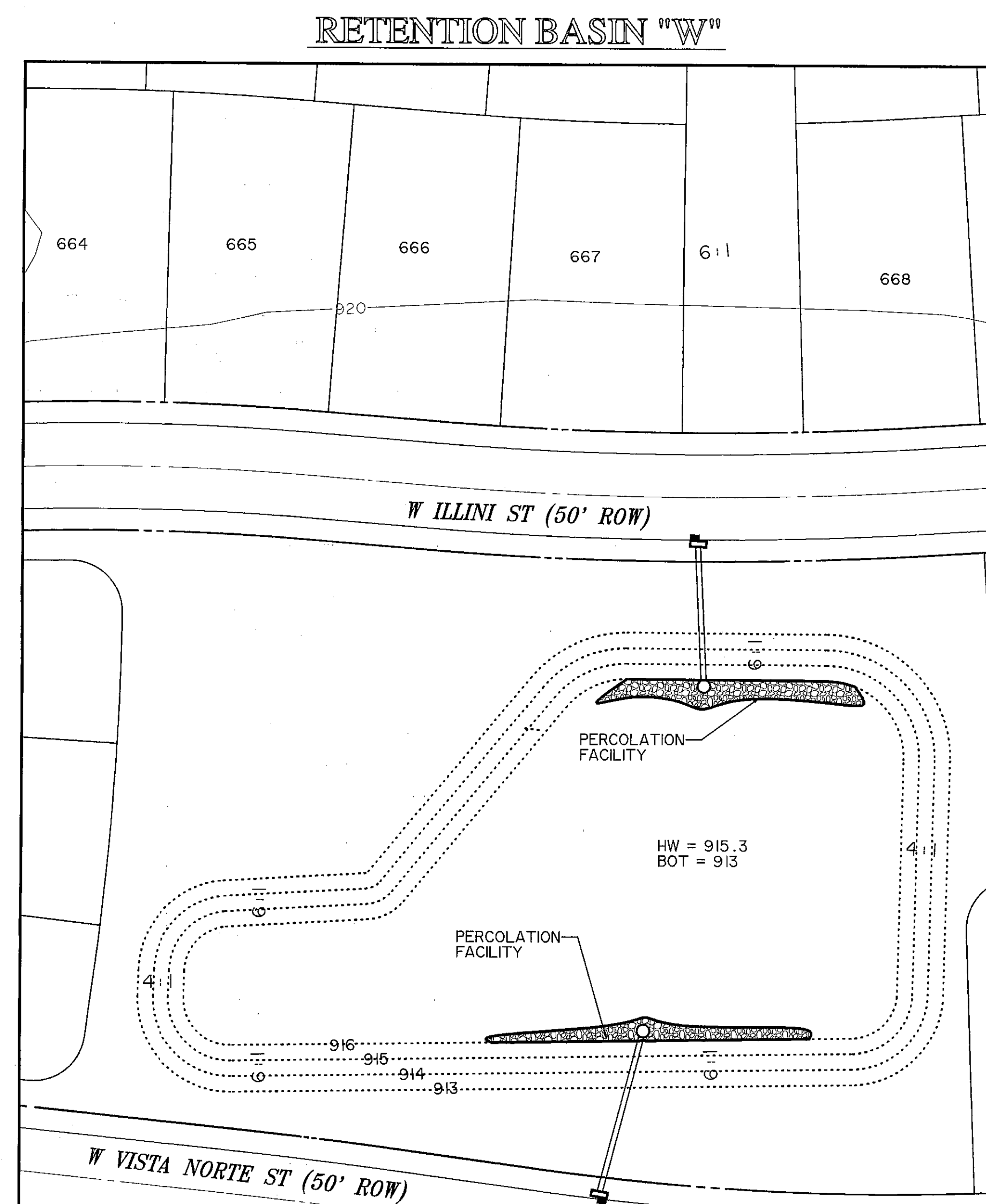
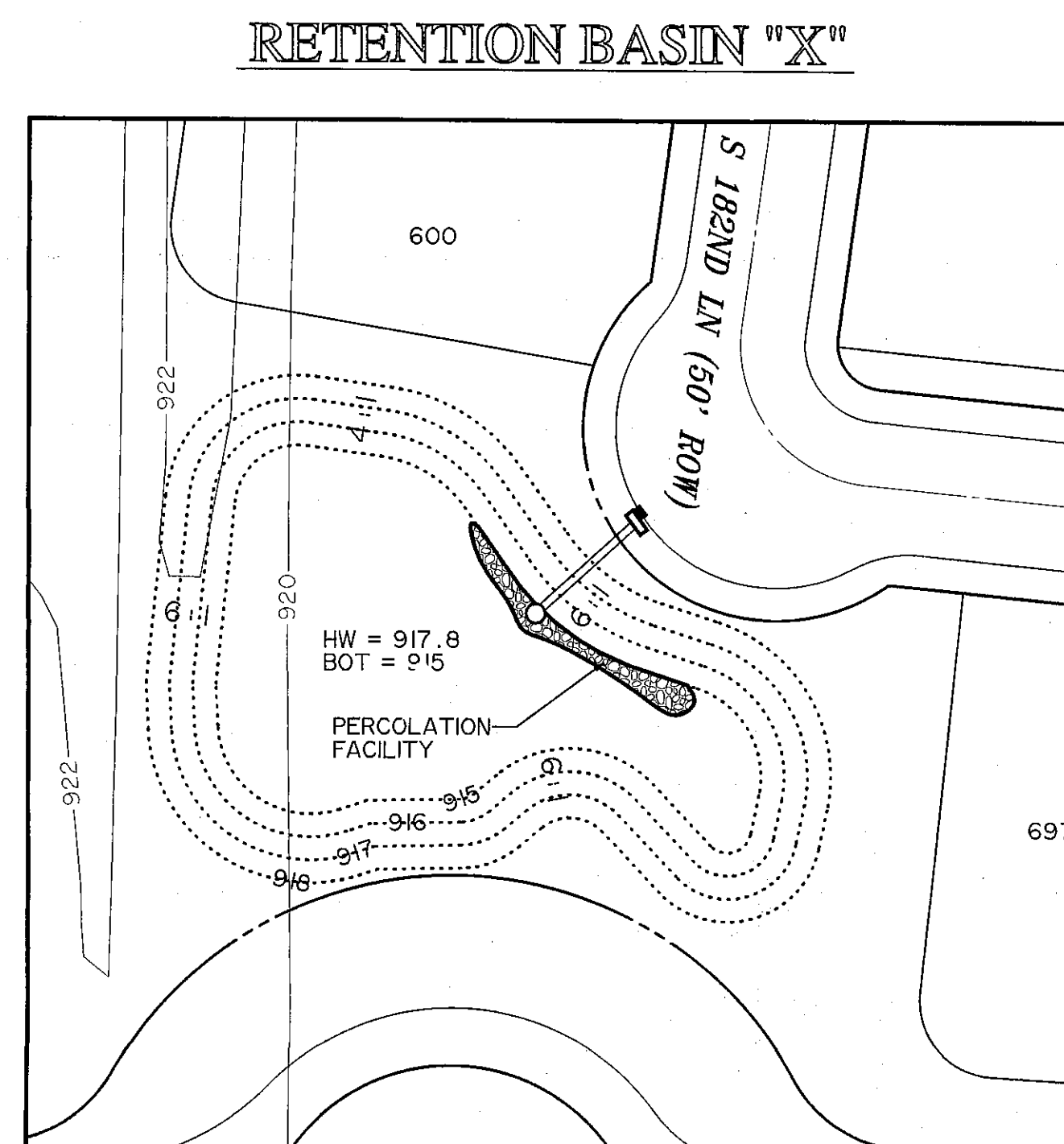
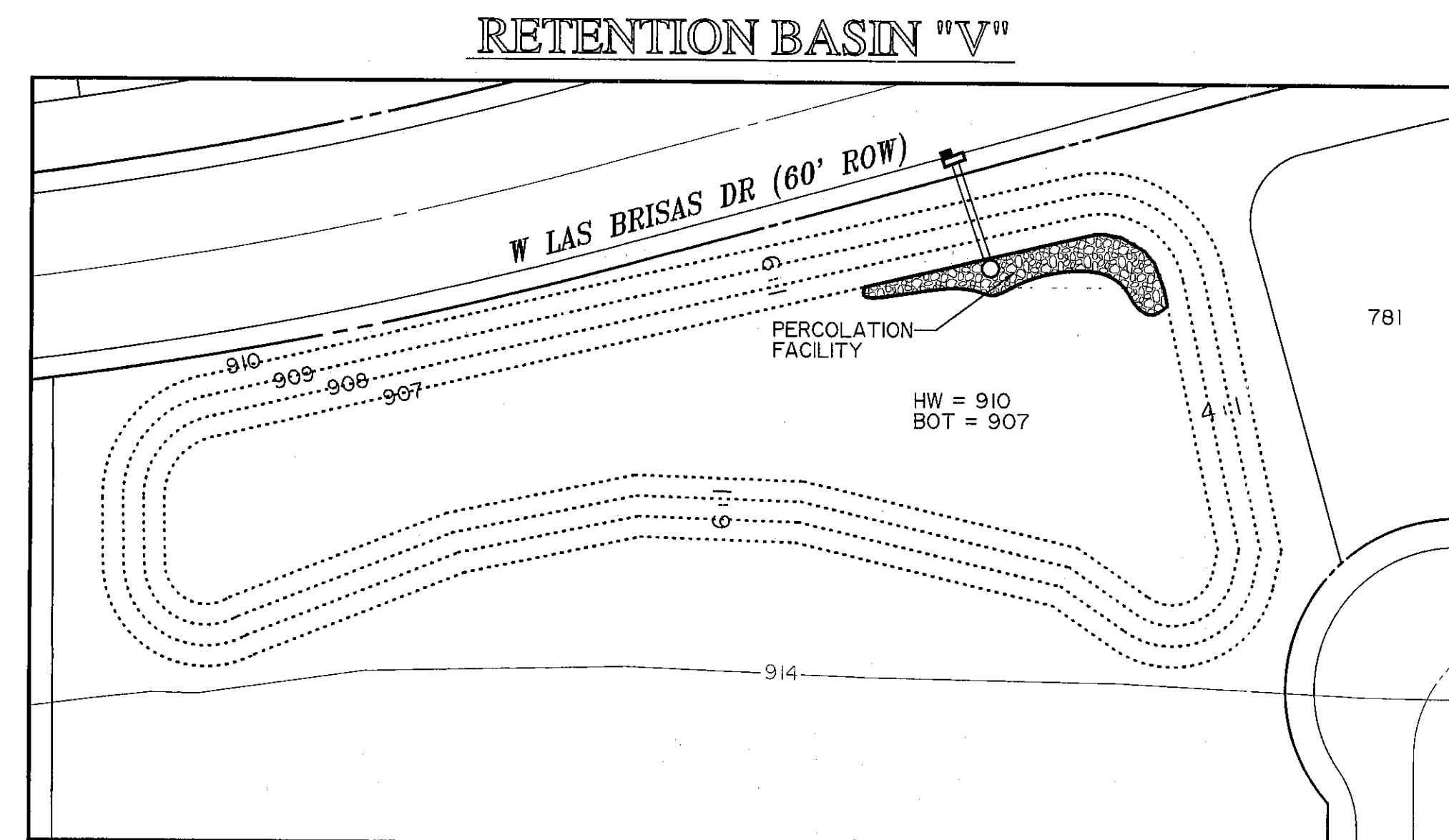
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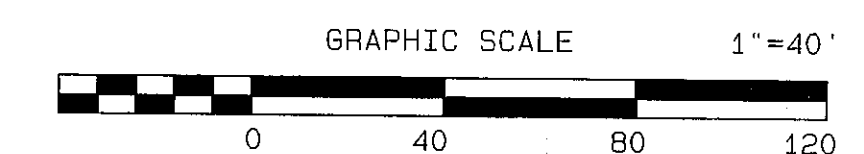
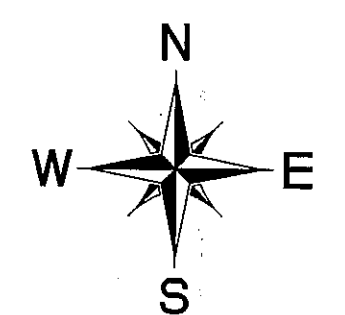
**LAS BRISAS
PHASE TWO
GOODYEAR, ARIZONA
PRELIMINARY PLAT
RETENTION DETAILS**

GOODWIN & MARSHALL CIVIL ENGINEERS-PLANNERS-SURVEYORS 8131 EAST CAMELBACK, SUITE 200, PHOENIX, ARIZONA 85016	Job No. 10205A	Design MJB
	Date JANUARY 2006	Draft TSN
	Scale AS SHOWN	Review DMG
	SHEET 18 of 20	



RETENTION BASIN NOTES:

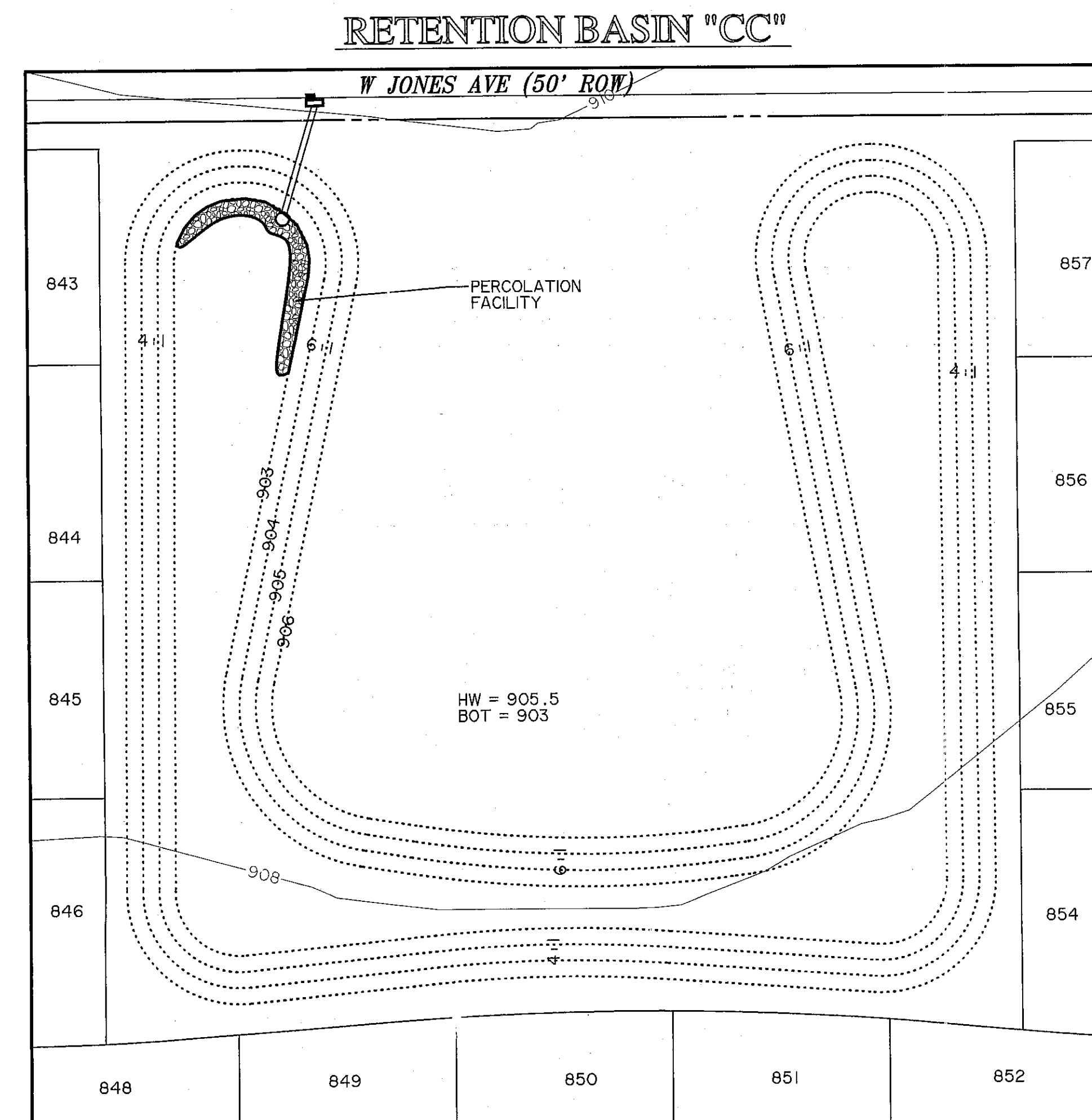
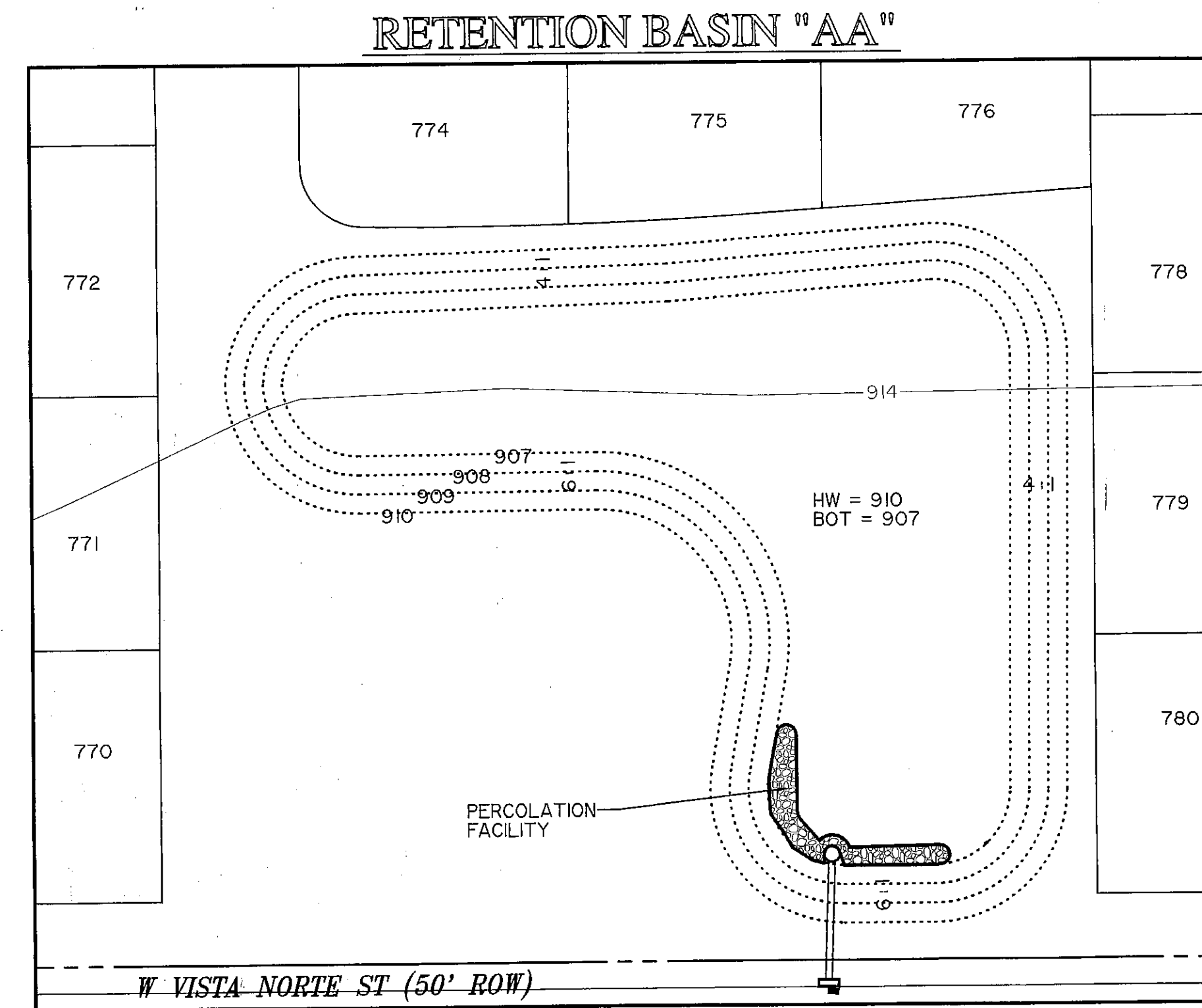
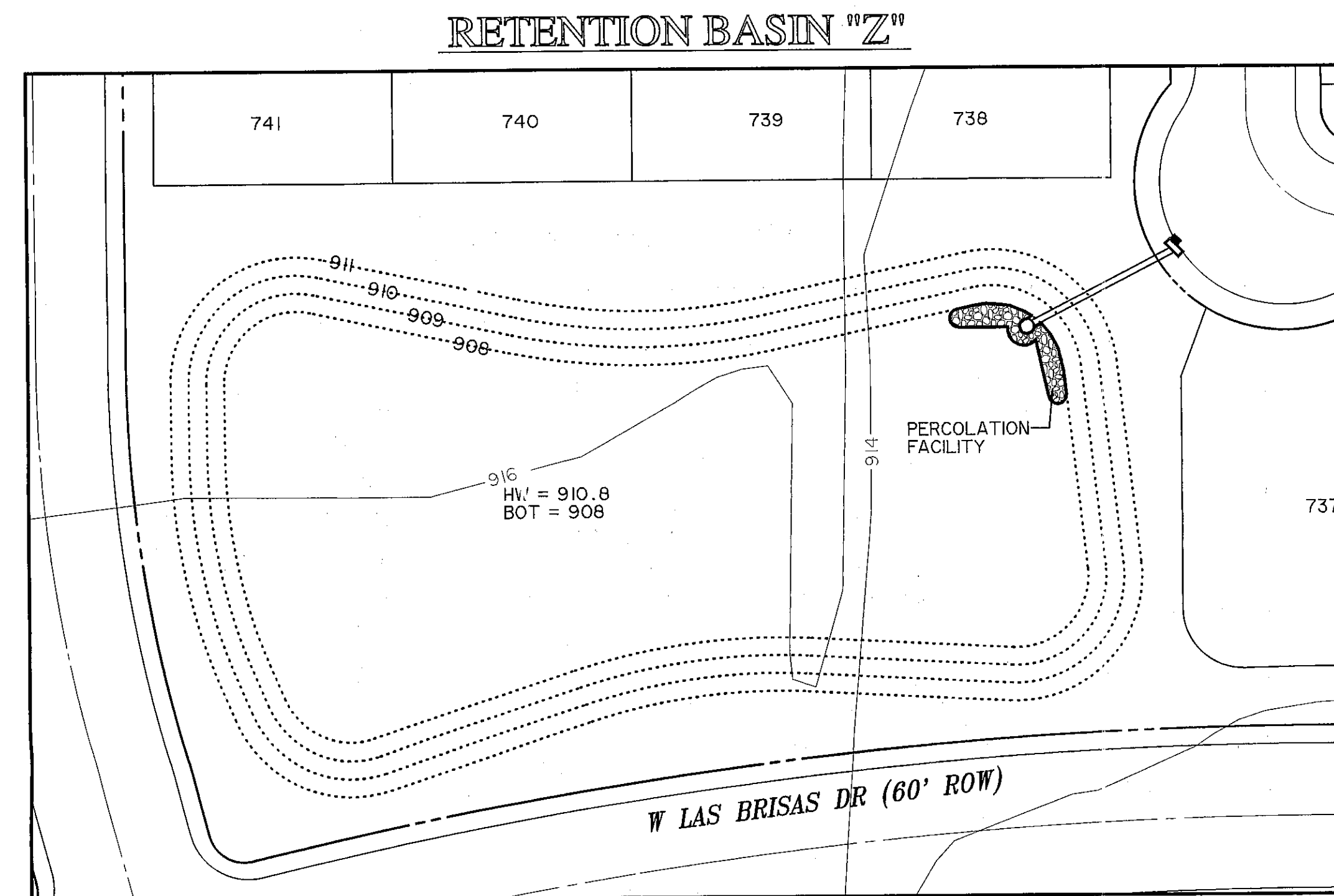
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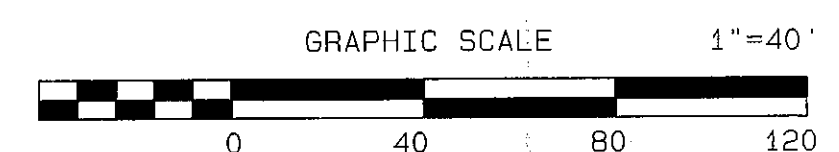
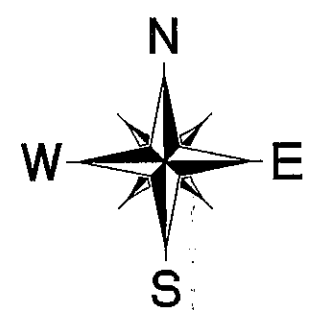


05-50000001-019			
LAS BRISAS PHASE TWO GOODYEAR, ARIZONA PRELIMINARY PLAT RETENTION DETAILS			
GOODWIN & MARSHALL CIVIL ENGINEERS-PLANNERS-SURVEYORS 3131 EAST CAMERBACK, SUITE 200, PHOENIX, ARIZONA 85016	Job No.: 10205A Date: JANUARY 2006 Scale: AS SHOWN	Design: MJB Draft: TSN Review: DMG	SHEET: 19 of 20

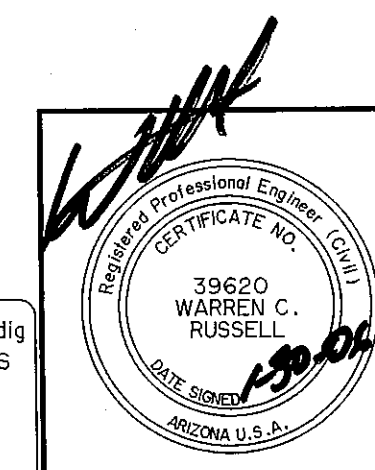


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LAS BRISAS PHASE TWO GOODYEAR, ARIZONA PRELIMINARY PLAT RETENTION DETAILS			
GOODWIN & MARSHALL	CIVIL ENGINEERS-PLANNERS-SURVEYORS	Job No. : 10205A Date : JANUARY 2006 Scale : AS SHOWN	Design : MJB Draft : TSN Review : DMG
SHEET: 20 of 20			