

# **LA JOLLA VISTA**

## **F i n a l Planned Area Development**

**NEC Citrus Road and Lower Buckeye Road  
Goodyear, Arizona**

**Prepared for:**

**Westpac Development Corporation**

**Dated: June 30, 2005**

# LA JOLLA VISTA

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# LA JOLLA VISTA

## 1. Overview

### A. Introduction

Citrus & Lower Buckeye, L.L.C. is the owner of the approximately 199± gross acres / 190± net acres<sup>1</sup> (the "Site") located at the northeast corner of Citrus Road and Lower Buckeye Road, in Goodyear, Arizona. This project booklet is submitted in support of Final Planned Area Development ("PAD") approval on the Site for La Jolla Vista, a single family residential development of Westpac Development Corporation.

### B. Site Location and Surrounding Area

The aerial exhibit identifying Surrounding Development and Surrounding Zoning Districts is provided at Tab 1. The "L" shaped Site is located at the northeast corner of Citrus Road and Lower Buckeye Road. The Site is bounded on the north by Durango Street and on the east by 173<sup>rd</sup> Avenue. North of Durango Street, the property is in Maricopa County and developed as small ranchettes. The Site is approximately 1.5 miles north of the Union Pacific Railroad Line, where industrial and commercial uses are planned.

The Site has been used as agricultural land. Undeveloped farmland is also found to the west and to the south and is similarly zoned Rural-43 (Maricopa County). To the north and east of the site is the existing Cotton Flower PAD in the City of Goodyear. East of the site is 173<sup>rd</sup> Avenue and undeveloped farmland with an approved PAD Overlay for Sin Lomas. South of the site is undeveloped farmland with approved PAD Overlays for El Cidro Ranch and Cotton Commons.

### C. Existing Zoning

The Site is presently zoned Rural-43 in Maricopa County. The Site is designated Low Density Residential (LDR) 2.0 - 4.0 du/acre on the Goodyear General Plan as updated. The relevant portion of the City's current General Land Use Plan, with the Site superimposed thereon, is provided at Tab 2. An annexation application has been filed to incorporate the Site within the City of Goodyear.

## 2. PAD Description

### A. Development Plan

The Preliminary Development Plan is provided at Tab 3. The intent of this application is to rezone the Site to PAD including R1-6 and SF-D/SF-A underlying

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<sup>1</sup> The gross acreage includes the adjacent half streets calculated to the street monument lines.



Districts, as set forth on the Zoning Districts Plan at Tab 4. This PAD Overlay responds to the existing and future needs of the community by providing new residential units characterized by high quality, diverse housing choices, and significant open space and amenities.

A sense of community identity is achieved upon arrival at either of the main entries on Citrus Road or Lower Buckeye Road or the secondary entry on Lower Buckeye Road. The entries are depicted on the Overall Preliminary Landscape Plan (Tab 5). Abundant landscaping, and distinctive monumentation frame each of the entries and signify the special community within the perimeter walls. As further described herein, the perimeter walls are principally located along arterial and collector streets and, along with the enhanced entry monumentation, clearly define this community. Interior to the community, view walls are employed to take full advantage of view corridors and the abundant open space and lush landscaping. Recreational opportunities abound with the well-designed park and open space system.

As set forth on the Preliminary Development Plan (Tab 3), the proposed six (6) residential parcels are each defined by open space which either provides internal focal points or boundaries, allowing each subdivision to have an identity unique from the others. La Jolla Vista is envisioned to consist of traditional-style neighborhoods and architectural styles that evoke the rural/agrarian characteristics of the area. The architectural character of the proposed community will lean towards simple, strong, elegant designs. It is expected that major building materials will include concrete tile and parapet roofs, earthen paint tones, and other compatible materials. Durability and ease of maintenance are a priority.

#### B. Proposed Land Uses

Situated with higher density property and the proposed freeway to the east and rural/agricultural uses elsewhere, a range of potential home types and residential lot sizes are proposed within La Jolla Vista. Bordering the Site are the approved residential developments of Cotton Flower to the north and east, Sin Lomas to the east, and El Cidro Ranch and Cotton Commons to the south. The residential land use proposed for the Site is consistent with the General Plan and with the surrounding approved PADs. The proposed community will consist of 6 different neighborhoods that are organized by open space elements consisting of centralized park areas and linear linkages within and between residential parcels. The park system also includes a public park of 8.0 acres and is shown as part of the school site and is adjacent to the central loop collector, as shown in Tab 20. The range of residential types is from traditional single family detached homes to court homes that provide for a diversity of choice and lifestyle. The combination of location, access, and surrounding development creates a need and opportunities for quality housing - for both existing and future residents.

#### Conventional Single Family Detached Residential:

Four parcels are detached single-family residential with R1-6 PAD Overlay designation. The plan has been prepared with regard to the transitional nature of the Site. The parcels proposed for the R1-6 underlying zoning designations are identified on the Zoning District Plan (Tab 4). Site and parcel data are set forth on the Preliminary Development Plan (Tab 3). A variety of housing opportunities will be available with two lot sizes: 60' x 120' and 70' x 125'.

#### Court Homes:

Two parcels have been identified as Court Homes that have a maximum density of 8 DU/ac. Court Homes may consist of a variety of small lot, cluster type residential designs, such as zero lot line, 'z' lots, auto courts, town homes or other neo-traditional formats. They may be single family attached or detached homes. Final determination will be made at a later time and the City will have the opportunity to review site plans and architectural designs for these parcels. These product types provide the buyers with alternative choice of life-style and often attract young buyers as well as retired 'empty nesters'. Design Guidelines for the Court Home parcels have been included within the Residential Design Guidelines attached (Tab 15).

#### School/Park Site:

A twenty-acre site has been designated for a public school and park site to be dedicated to Avondale Elementary School District. The site is located so that the school can be accessed without going through the La Jolla Vista community, yet allows ease of student access from La Jolla Vista. This site location and size have been determined in conjunction with the Avondale Elementary School District and stake holders. Of the 20-acres, 8.0-acres have been included in the calculation of parks and open space for the community. This area will be accessible by the community and it will provide both a recreational and visual resource.

#### Project Density:

The total number of dwellings in the overall project is 690 homes. The total number of lots within each of the parcels are identified on the Development Plan. However, the totals proposed by the PDP for each parcel are subject to minor density shifts between parcels prior to final plat due to engineering constraints, so long as the over all total does not exceed 690. All single-family residential uses will comply with the City of Goodyear Zoning Ordinance requirements, except as amended herein.

According to the Low Density Residential (LDR) designation, a density range of 2.0 to 4.0 du/acre is appropriate for the site. However, La Jolla Vista is a member of the sixteen properties benefited by the memorandum of understanding regarding West Goodyear infrastructure approved by Council May 23, 2005. As a member it has been established that La Jolla Vista is granted a minimum base density of 2.85 dwelling units per acre, with the ability to exceed 2.85 based on the merit of the project. The project proposes a net density of 3.87 DU/ac. Exceeding the baseline density of 2.85 DU/ac is warranted for La Jolla Vista in recognition of the high quality community, neighbor

diversity, amenities and 20 acre elementary school site proposed. Significantly enhanced landscape treatment is reflected at each of the community entries, including distinctive monumentation signage. Staggers and visual breaks in the perimeter walls and well-planned use of view walls within the neighborhood maximize the visual interest of the abundant landscaping and open space. The open space within the subdivision parcels also provides a buffer or linkage between the residential uses and open spaces.

Trail extensions on the western boundary of the Site further promote connectivity with the development to the north and south. The substantial open space enhances the quality of life of community residents and provides numerous opportunities for passive and active recreation which is additionally encouraged by the significant amenities throughout the neighborhood and pocket parks. The interior of each residential subdivision will be designed with numerous curves, knuckles, and cul-de-sacs in order to effectively convey traffic while maximizing safety and the aesthetics of open space features. Lot size variation, floor plan options including side entry and recessed garages in order to utilize the reduced front setback of 10 ft allowed under La Jolla Vista PAD development standards, and staggered front setbacks of 3 ft every 3<sup>rd</sup> lot will contribute to a varied streetscape. Diverse housing elevation choices will further characterize this special community. Incorporating all of these Community Identity, Community Diversity, School Site dedication and Open Space elements, La Jolla Vista has been designed to have a density of 3.87 du/net acre.

#### C. Landscaping

The Overall Preliminary Landscape Plan (Tab 5) is designed to reinforce the distinctive amenity based theme. The Overall Preliminary Landscape Plan has been designed with ample open space emphasizing outdoor living enjoyment and the ability for people to live and play in a secure and safe environment. A plant palette and additional information are set forth on Landscape Concepts (Tab 6).

Along the collector streets, a formal row of trees defines the main entry and passage through the community. A unique feature incorporated into this community is the position of the side yard landscape tracts and open spaces at the entry to each parcel.

As further addressed below, the extensive open space throughout the neighborhood provides 28.2 acres of active and passive recreation opportunities. Approximately 15.1% of the gross residential development area is composed of parks, landscape tracts and trails, and retention areas. A generous 8.0-acre park is co-located with the school with connection to trails that access other areas of the community. This design allows for easy access to the park from all residences in the community.

#### D. Theme Walls and Entry Features

To provide a sense of character, 6 feet high Theme Walls (Tab 7) have been designed to be placed along arterials and collectors. The wall locations are set forth on

the Conceptual Wall Layout Plan (Tab 8). The materials consist of stained block and stained split face block in addition to 2 feet wide stone veneer columns with a pre-cast concrete cap. Adjacent to open space areas, two schemes for view walls are provided. For high traffic areas which occur mainly along the collector street, the view shall be 1 foot high wrought iron secured to a 5 feet high stained split face block wall. For lower traffic areas, the view wall shall be 5 feet high wrought iron secured to a 1 foot high painted split face block wall.

As depicted on the landscape plan (Tab 5), there is a main entry on each of the arterial streets. As the Main Entry (Tab 9) plan depicts, the Main Entries will be "inviting", landscaped boulevards enhanced with, colored concrete, meandering sidewalks, pedestrian "trellis" passageways, and tasteful signage. The main entry monument sign incorporates a curvilinear stucco sign wall, a planter wall, and a wooden trellis to complete the character as well as the select granite boulders. Pedestrians pass underneath the wood trellis to experience this unique community.

#### E. Parks and Open Space

Based on City standards the 690 dwellings (at 2.68 people/DU and 10.3-acres/1000 people) require a minimum of 19.05 acres of parks/open space. Additionally, open space for parks, retention and landscape tracts will be provided within the individual parcels for a total of 28.2-acres (15.2% of gross residential area).

The community Open Space Amenities are included at Tab 10. That exhibit provides conceptual representations for the community's "Major Parks," and "Pocket Park" components of the park and open space system, along with amenities and recreational equipment. The City standard is that 25% of neighborhood parks and 75% of pocket parks be outside of storm water retention areas. There will be a variety of common areas within La Jolla Vista ranging from open space to be used for recreation areas, mini parks within the parcels, open space corridors within parcels that connect to neighborhood and school parks.

The 8.0-acre shared school park is connected with the entire community through open space corridors located throughout the neighborhood which enhances the community. This park is centrally located along the collector street and is envisioned to contain a amenities typical of elementary school parks. The park is part of a 20-acre donation to the Avondale Elementary School District (AESD). Due to safety concerns, AESD has expressed a preference for the park to be fenced along the perimeter. However, AESD has agreed that the park will remain open to the public during off school hours. This park will provide community recreation for all residents within La Jolla Vista.

There will be tot lots located within each individual parcel and will have shade structures over play equipment. This will provide additional amenities for the development and will be easily accessed by the entire neighborhood since the trails

and sidewalks lead directly to the tot lot. Open space tracts that run between the homes and corner lots will connect the tot lots, allowing interaction between them. The tot lots as located and in combination with the neighborhood and school parks provide the active and/or passive recreation opportunities well within the 660 feet service radius of each lot as required by the City of Goodyear's Active Open Space Standards. Low energy use lighting will be provided from dusk until dawn along trails and play areas.

The developer will construct the neighborhood parks, tot lots and trails/open space corridors, which will then be turned over to the Homeowner's Association for maintenance. The school site park will be owned, and maintained by the Avondale Elementary School District.

The park system is designed to create a sense of community by providing convenient gathering places not only for La Jolla Vista, but for the entire community.

#### F. Circulation and Street Standards

Regionally, La Jolla Vista is approximately .5 miles west of the Cotton Road/303 Loop, which provides access to the west and northwest Valley. The Site is approximately 2.5 miles south of Interstate 10 which provides access to other major traffic corridors as well as Downtown Phoenix and the east Valley. MC 85 is approximately 1.25 miles south of the Site and provides an alternate form of access to the east as well as the southwest. La Jolla Vista is approximately 1.5 miles north of the Union Pacific Railroad. As part of the development at La Jolla Vista, the developer will include a disclosure in the CC&Rs, the Public Report, and on the Final Plats that specifically identifies the proximity of the Union Pacific Railroad.

Primary access to the Site will be via Citrus Road or Lower Buckeye Road. A minor collector winds through the Site connecting the main entries on Citrus Road and Lower Buckeye Road and providing linkages to each of the 6 residential parcels. Location and cross-sections for the streets are set forth on Roadway Location and Classification at Tab12.

This project is responsible for 25% of the cost of a traffic signal at Lower Buckeye Road and Citrus Road. Traffic signals will be required in other locations where noted by the traffic report for this project. Generally, the project will be responsible for its proportionate share of the cost for each signal (25% per corner occupied of the adjacent traffic signal).

Local streets will be designed to be curvilinear, to promote local traffic and to discourage cut-through traffic. La Jolla Vista intends to have City standard right-of-ways throughout the Site on the arterial, collectors, and local streets. All roads in La Jolla Vista will be public roadways, dedicated to the City of Goodyear. Local roads with four-way intersections will be stop controlled. Construction methods and techniques of all streets shall be built in accordance with the City of Goodyear and Maricopa County

Regulations and maintained by the developer until final inspection and acceptance by the City of Goodyear.

### **3. Development Standards**

Development standards for each of the PAD Overlay designations are set forth in the R1-6 PAD Single Residence Standards and Development Standards for Court Homes provided at Tab 13. The Building Envelope/ Typical Lot Details for each of the R1-6 designations are set forth in Tab 14.

### **4. Design Guidelines**

The guidelines contained in this PAD are intended to guide design of the future phases of the development and will comply with prevailing City of Goodyear Design Guidelines for residential development. Any single-family residential development will be required to follow the platting process defined in the City of Goodyear Subdivision Regulations. Guidelines are set forth in Residential Design Guidelines at Tab 15. These project guidelines were developed to guide each individual builder in a shared direction. This will allow the builder(s) own architectural vernacular in which they excel. All builders will be encouraged to offer as much variety in home design and building materials as possible. A minimum of five (5) floor plans, each with a minimum of three (3) varied front elevations, will be used throughout the Site to provide a variety of housing alternatives and increase visual interest. The overall community character of the Site will be that of a rural agrarian theme. It will be the goal of this development to fit into the existing fabric of the surrounding community. These preliminary guidelines will be the basis of future CC&Rs that will be utilized to guide, create, and maintain a high quality development that fits well with the visions and desires of the City of Goodyear and the surrounding area.

### **5. Public Participation**

Two citizen participation meetings have been held for La Jolla Vista, the first on June 9, 2004 and the second on December 21, 2004. Meeting notices were mailed and signs were posted in a conspicuous location on the property to provide ample notification of both meetings. Meeting minutes were prepared and forwarded to the City. The general response from those attending was favorable. Neighbor issues were the elimination of access to the project from Durango Road and the limiting of homes backing to Durango Road to no more than one-story.

### **6. Miscellaneous**

#### **A. Grading and Drainage**

The Preliminary Drainage Plan is provided at Tab 16. The Site is relatively level farmland with a manmade ridge located at the center of the site causing half of the site

to drain to the southeast and the other half to drain to the southwest for irrigation purposes. The ultimate outfall of the Site is the Gila River to the south.

Currently off-site runoff drains toward the Site from the north. Offsite flows shall be piped through or around this site and shall be dispersed in a similar manner as exists. Also, the project will retain the half street runoff from all streets adjacent to this project.

The common area open space tracts within the proposed development of La Jolla Vista will provide for onsite storm water retention. If additional retention/detention is required, it will be provided within the trail system of the individual parcels. Pathways through retention/drainage areas shall be kept a minimum of 1 ft above the bottom of the basin or drainage channel.

The Site falls within a FEMA Zone X designation and is, therefore, not located within an area prone to flooding. Retention will be provided for the entire Site for the 100-year, 6-hour storm event per the City of Goodyear's requirements.

B. Utilities/Services

Electrical, natural gas, telephone, and cable television services will be provided, respectively, by Arizona Public Service, Southwest Gas, Qwest Communications, and Cox Communications. The City of Goodyear will provide refuse and emergency services (fire, police, and ambulance) for the community. Any overhead utility lines along the project frontage will be placed underground, with the exception of 69kV or larger power lines.

C. Project Infrastructure

A 24-inch potable water line currently exists in Lower Buckeye Road extending east from Sarival Avenue to 173<sup>rd</sup> Avenue, where it turns north and continues to Yuma Road through the Cottonflower development. A new 16-inch water line adjacent the site will connect to the existing line in Lower Buckeye and be extended west to Citrus Road and then north to Durango adjacent the project boundary. A 12" waterline is needed at approximately the half-section alignment and follow the internal collector loop. It will be extended north to Durango street, terminating on the south side of the street with a blow-off valve and box located south of the future curb. It was noted by the Assistant City Engineer at the project pre-application meeting that a water line extension beyond the north property boundary at Durango may be required to connect to the future line in Yuma to provide a "looped" potable water supply system. Tab17 includes a Preliminary Water Plan.

Sanitary sewer service will be provided by the City of Goodyear via the City's 159<sup>st</sup> Avenue Water Reclamation Facility. Connection to the facility will be by gravity sewer line from the project to the proposed sewer main/trunkline along Cotton Lane. A

sewer line will be extended to the north side of Durango Road with sewer stubs in each direction for future service to areas on the north. All sewer service will be located, deep enough and sized to service all properties in this area. Currently, the City is working with developers and their engineers to produce a Sewer Master Plan that will adequately service this area and all future development in the City of Goodyear. A Preliminary Sewer Plan is included at Tab 18. Sewer improvements shall conform to the approved Master Wastewater Plan.

D. Fire Service

As a member of the 16 properties identified in the Memorandum of Understanding Regarding West Goodyear Regional Infrastructure (MOU) approved by Council on May 23, 2005, La Jolla Vista will be contributing \$1,363 per lot to the City for the purpose of Fire Service. This contribution will be made for all lots within the project at the time of the recording of the first Final Plat for, La Jolla Vista. As provided in the MOU the City has agreed to be solely responsible for acquisition, design, construction, equipping, operating and maintaining a fire station on a timely basis to provide the necessary services to, La Jolla Vista. Once, La Jolla Vista has paid its share of the Fire Contribution prior to final plat recordation, it shall be entitled to seek and obtain building permits and certificates of occupancy regardless of whether the City has completed the fire station.

E. Schools

La Jolla Vista falls within the Agua Fria Union High School District and the Avondale Elementary School District. Owner representatives have met with Superintendents of both Districts with correspondence following the meetings attached at Tab 19. A school site has been placed between the internal collector and 173<sup>rd</sup> Avenue with access to both. Buildings will be located at the east end of the site, adjacent to 173<sup>rd</sup> Avenue, while the outdoor play areas will be on the west side of the site. A total of 20-acres has been identified, of which 8.0-acres will be used for a shared community park.

Based on information provided by Avondale Elementary School District and Agua Fria Union High School District superintendents, the following student projection estimates can be made:

- Avondale Elementary School District:  $0.3 \text{ students/DU} \times 690 \text{ DU} = 207$
- Agua Fria Union High School District:  $0.25 \text{ students/DU} \times 690 \text{ DU} = 173$

The developer has entered into an agreement with Agua Fria Union High School District to provide a voluntary donation of \$300. per dwelling.



F. Phasing

At this time it is planned that the Site will be developed in a single phase. While not all parcels may get developed at the same time, all necessary offsites and backbone infrastructure will be constructed in the first phase. It is anticipated that roadway and infrastructure detailing, processing, and construction will commence immediately following acceptance of the rezoning, review, acceptance, and recordation of all required plats, and completion of construction documents.

G. HOA

All community open space (with exception of shared school and park facilities), amenities, and landscape tracts will be owned and maintained by the La Jolla Vista Homeowners' Association ("HOA"). The HOA shall establish, govern, and enforce the community covenants, with the homebuilder's Property Disclosure Statement providing potential homeowners notice to that effect.

**7. Conclusion**

This Preliminary PAD is in conformance with the City's General Plan and compatible with the surrounding area and approved PADs. The proposed La Jolla Vista community has earned the achievement of density above the target (baseline) density established by the City of Goodyear General Plan Update 2003 -2013, Land Use Plan designation. La Jolla Vista clearly demonstrates the provision of facilities and amenities that support Goodyear's desired community and character of "spectacular master-planned communities" of "unsurpassed quality" in a "high-end community with a friendly, small-town feel only 20 minutes from downtown Phoenix. It will be a relaxed, yet refined community where you will feel at home right away".

La Jolla Vista portrays quality and diversity in uses while providing compatibility with existing and proposed development in the area. This project is poised to meet current and future needs of the surrounding community. The accompanying site plan and other exhibits meet the requirement for rezoning with a PAD Overlay District and simultaneously provide enough flexibility to the City and the owner/developer so that the detailing of the project may take a synergistic route. We most proudly present La Jolla Vista to you the City Staff, Planning and Zoning Commission, and City Council, for your final determination of density based on the merits of the envisioned community described herein. We respectfully request your review and look forward to working with you on creating this spectacular neighborhood community.

**La Jolla Vista Development Team**

## **8. Development Team**

### **Owner**

Citrus & Lower Buckeye, L.L.C.  
c/o Hinton Financial Services, Inc.  
Attn.: Brad Clough  
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Edmonton, Alberta, Canada T3KOJ1  
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Fax (780) 480-1310

### **Developer**

Westpac Development Corporation  
Attn.: Philip A. Miller  
8501 N. Scottsdale Rd., Suite 260  
Scottsdale, Arizona 85253  
(480) 889-6900  
Fax (480) 889-6901

### **Planning/Engineering**

Coe and Van Loo Consultants, Inc.  
Attn: Steve Kellogg  
4550 N. 12th Street  
Phoenix, Arizona 85014  
(602) 264-6831  
Fax: (602) 264-0928

### **Landscape Architect**

Pinnacle Design, Inc.  
Attn.: Bill Francis  
4343 E. Camelback Rd., Suite 100  
Phoenix, Arizona 85018  
(602) 952-8585  
Fax: (602) 952-8686

### **Zoning/Entitlements**

Burch & Cracchiolo, P.A.  
Attn.: Ed Bull  
702 East Osborn Road, Suite 200  
Phoenix, Arizona 85014  
(602) 234-9913  
Fax (602) 234-0341



MARICOPA COUNTY

CITY OF GOODYEAR



MARICOPA COUNTY

CITY OF GOODYEAR

# LA JOLLA VISTA VICINTY MAP, SURROUNDING ZONING AND DEVELOPMENT

## LEGEND

AG - AGRICULTURE - CITY OF GOODYEAR

AU - AGRICULTURE - MARICOPA COUNTY

RURAL-43 RURAL ZONING DISTRICT -  
ONE DU/AC

PAD - PLANNED AREA DEVELOPMENT

PROPOSED PARKWAY - - - -

08, 2004  
TIME: 09:08:16  
FILE: n:\030061\land\pic-vic.dgn



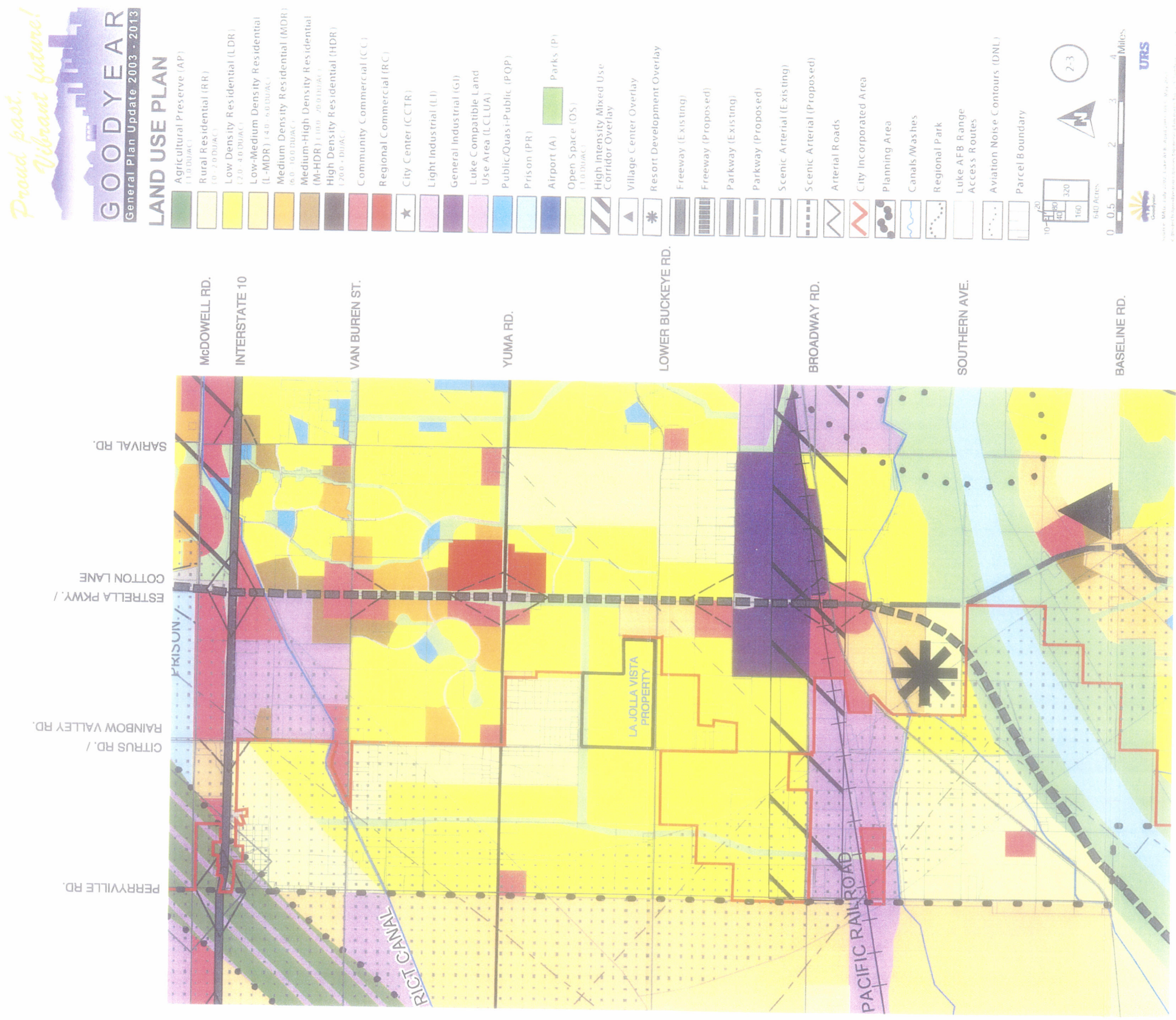
TAB 1

DATE: 10-1-04

**CVL**  
N.T.S.



CITY OF GOODYEAR  
GENERAL PLAN LAND USE PLAN  
for  
LOWER BUCKEYE & CITRUS ROAD  
AREA



TAB 2

DATE: 01-09-04



N.T.S.



# LA JOLLA VISTA

## FINAL DEVELOPMENT PLAN

PAD PARCEL DATA					
PARCEL	UNDERLYING PAD ZONING	LOT SIZE	ESTIMATED YIELD	ESTIMATED DENSITY	NET SITE AREA*
1	R1-6	70' x 125'	90	2.9 DU/AC	32.8
2	R1-6	70' x 125'	78	2.9 DU/AC	29.7
3	R1-6	60' x 120'	106	3.2 DU/AC	33.2
4	SF-D/SF-A	COURT HOMES	171	**7.4 DU/AC	23.1
5	R1-6	60' x 120'	107	3.3 DU/AC	32.8
6	SF-D/SF-A	COURT HOMES	138	**7.4 DU/AC	18.6
7	R1-6	SCHOOL/PARK	-	-	20.0
TOTAL			690		190.2 AC

\* GROSS LESS ARTERIALS

\*\* MAXIMUM DENSITY FOR COURT HOME PARCELS IS 8.0 DU/AC

SITE DATA TABLE	
GROSS AREA	198.5 AC
GROSS RESIDENTIAL AREA***	186.5 AC
NET RESIDENTIAL AREA*	178.2 AC
ARTERIAL ROAD	8.29 AC
TOTAL OPEN SPACE**	28.2
OPEN SPACE PROVIDED**	15.1%
TOTAL YIELD	690
DENSITY (NET)	3.87 DU/AC

NOTES:

-GROSS AREA IS TO CENTERLINE OF ADJACENT ROADS.

-NET AREA EXCLUDES ARTERIAL RIGHT OF WAY AND 12 AC SCHOOL FACILITIES SITE

-NEIGHBORHOOD TOT LOT WITH CONNECTION TO PROJECT  
OPEN SPACE TO BE CENTRALLY LOCATED WITHIN EACH PARCEL

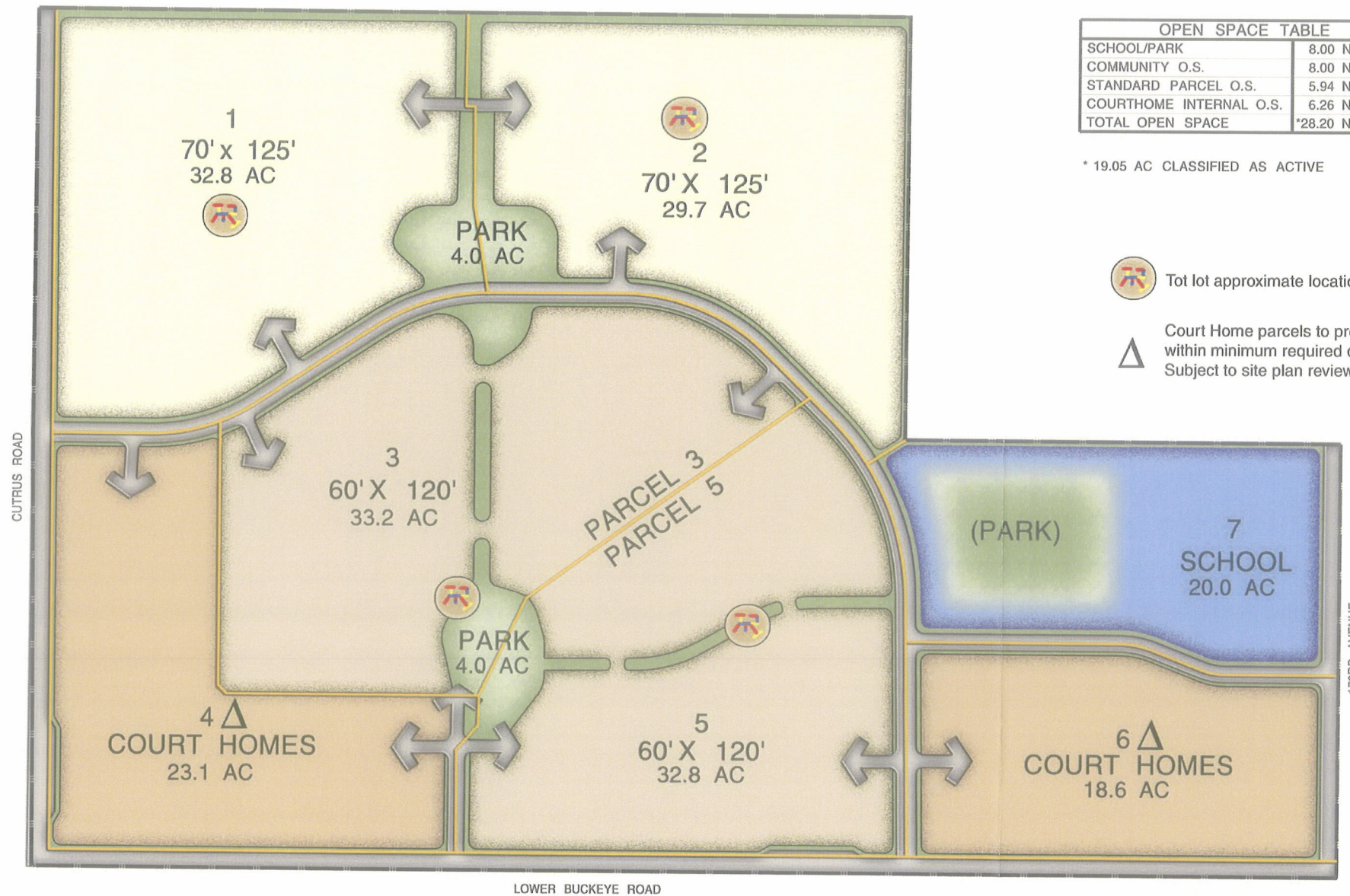
\*NET RESIDENTIAL AREA = GROSS LESS ARTERIALS AND 12.0 AC SCHOOL = 178.5 AC

\*\*OPEN SPACE % BASED ON GROSS AREA LESS SCHOOL SITE

\*\*\*GROSS RESIDENTIAL AREA = GROSS LESS 12.0 AC SCHOOL SITE

OPEN SPACE TABLE	
SCHOOL/PARK	8.00 NET AC
COMMUNITY O.S.	8.00 NET AC
STANDARD PARCEL O.S.	5.94 NET AC
COURTHOME INTERNAL O.S.	6.26 NET AC
TOTAL OPEN SPACE	*28.20 NET AC

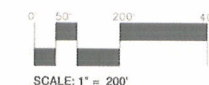
\* 19.05 AC CLASSIFIED AS ACTIVE



Tot lot approximate locations



Court Home parcels to provide additional / separate recreational amenity(s) within minimum required distance from each unit in Court Home parcel. Subject to site plan review and approval.



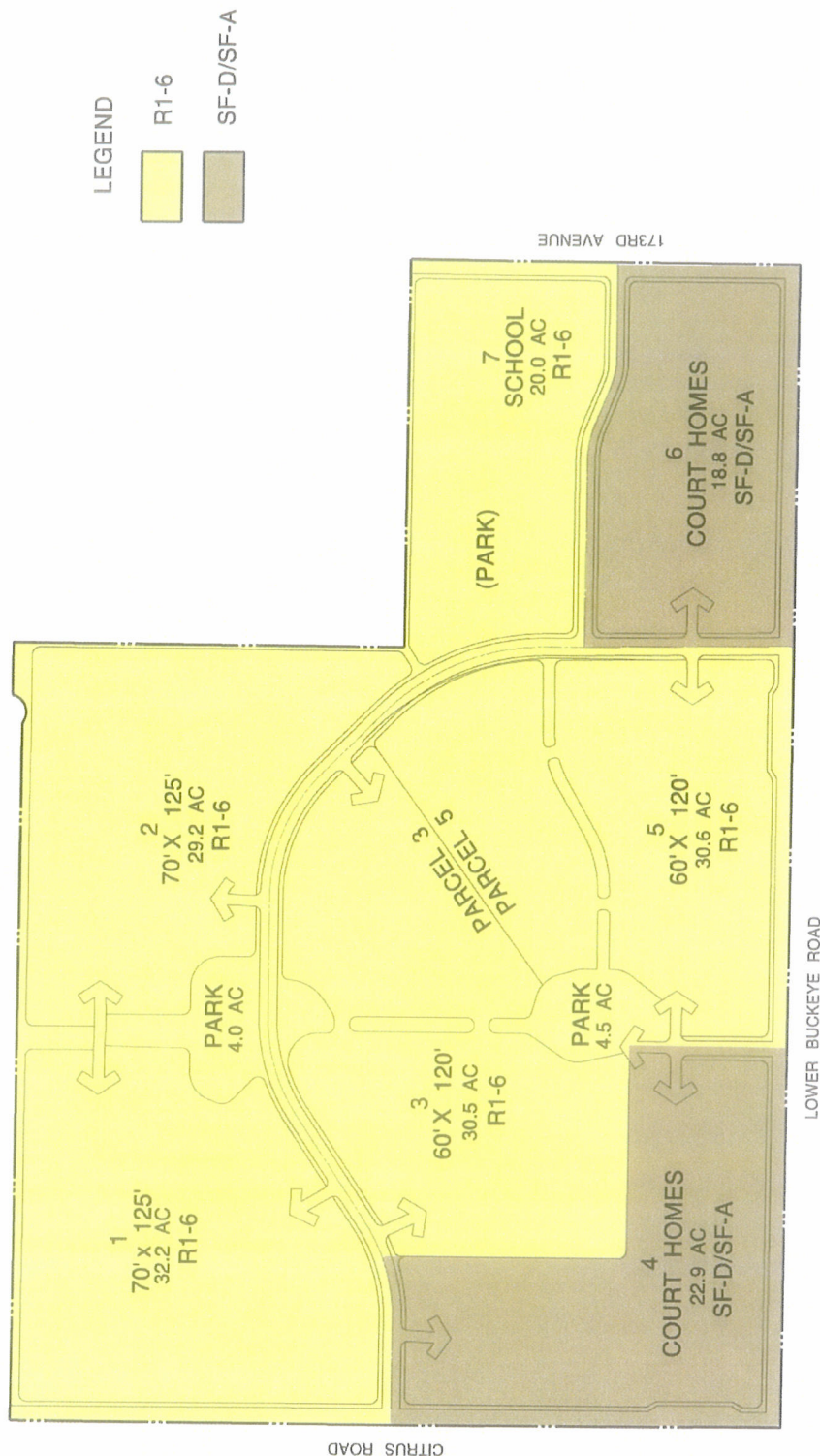
TAB 3

DATE: 7-13-05





# LA JOLLA VISTA UNDERLYING ZONING DISTRICTS PLAN



DATE: Sep. 28, 2004  
TIME: 07:24:16  
FILE: n:\030061\landplec-zdp.dgn

TAB 4  
DATE: 7-11-05





DURANGO STREET

# PRELIMINARY LANDSCAPE NOTES

## PLANTING

THE SITE WILL BE LANDSCAPED IN ACCORDANCE WITH THE CITY OF GOODYEAR STANDARDS. ALL TREES AND SHRUBS ARE TO BE STAKED AND PLANTED IN ACCORDANCE WITH THE ARIZONA NURSERY ASSOCIATION PUBLISHED STANDARDS.

SIZES OF TREES AND SHRUBS WILL CORRESPOND WITH REQUIREMENTS SET BY THE CITY OF GOODYEAR. ALL PLANTING AREAS WILL RECEIVE A 2" DEPTH OF 3/4" DECOMPOSED GRANITE AND SHALL BE TREATED WITH PRE-EMERGENT HERBICIDE.

## IRRIGATION

THE IRRIGATION SYSTEM WILL CONSIST OF DRIP EMITTERS AND PRESSURE REGULATORS CONNECTED TO AUTOMATIC VALVES AND WILL BE TIED INTO AUTOMATIC CONTROLLERS AS REQUIRED. THE IRRIGATION SYSTEM SHALL PROVIDE 100% COVERAGE.

## GRADING

ALL EARTHWORK WILL BE DONE SO THAT ALL MOISTURE DRAINS OFF AND AWAY FROM SIDEWALKS AND STRUCTURES. THE MAJORITY OF ONSITE DRAINAGE WILL DRAIN INTO THE RETENTION BASINS LOCATED ON SITE.

25% OF THE OPEN SPACE PROVIDED SHALL BE DESIGNATED AS OUTSIDE OF THE PROJECT DRAINAGE AND RETENTION SYSTEM.



REV. JUNE 28, 2005

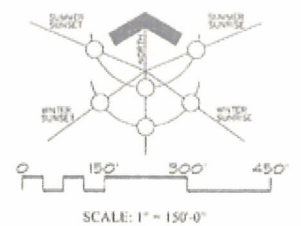
PINNACLE  
DESIGN, INC

OVERALL PRELIMINARY LANDSCAPE PLAN

LA JOLLA VISTA

4343 E. Camelback Rd  
Suite 100 • Phoenix, AZ 85018  
Off: (602) 952-8575 • Fax: 952-8588  
Jeb # 03080  
NOVEMBER 14, 2005

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TAB 5

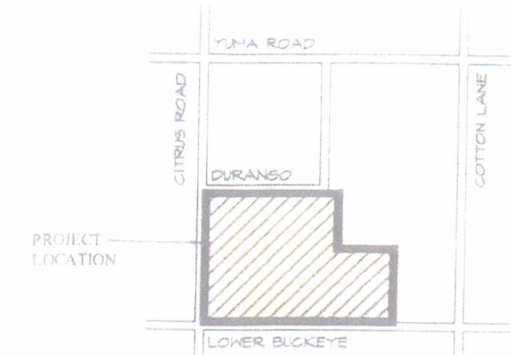


# LA JOLLA VISTA

NEC Lower Buckeye and Citrus Road  
Goodyear, Arizona  
LANDSCAPE CONCEPTS

PINNACLE  
DESIGN, INC

1343 E. Camelback Rd  
Suite 100 • Phoenix, AZ 85016  
PH: 602.952.8585 FAX: 602.952.8586



VICINITY MAP



NOT TO SCALE

## OWNER:

CITRUS & LOWER BUCKEYE LLC  
11214 100TH AVENUE  
EDMONTON AB, CA 13K0J1  
CONTACT: BRAD CLOUGH  
PHONE: 780.462.6451

## PROJECT CONSULTANTS

### PROJECT MANAGER:

PROTITLEMENT  
8501 N. SCOTTSDALE, STE 260  
SCOTTSDALE, AZ 85255  
CONTACT: KELLY HALL  
PHONE: 480.889.6401

### LANDSCAPE ARCHITECT:

PINNACLE DESIGN, INC  
4545 EAST CAMELBACK, STE 100  
PHOENIX, AZ 85016  
CONTACT: BILL FRANCIS  
PHONE: 602.952.8585

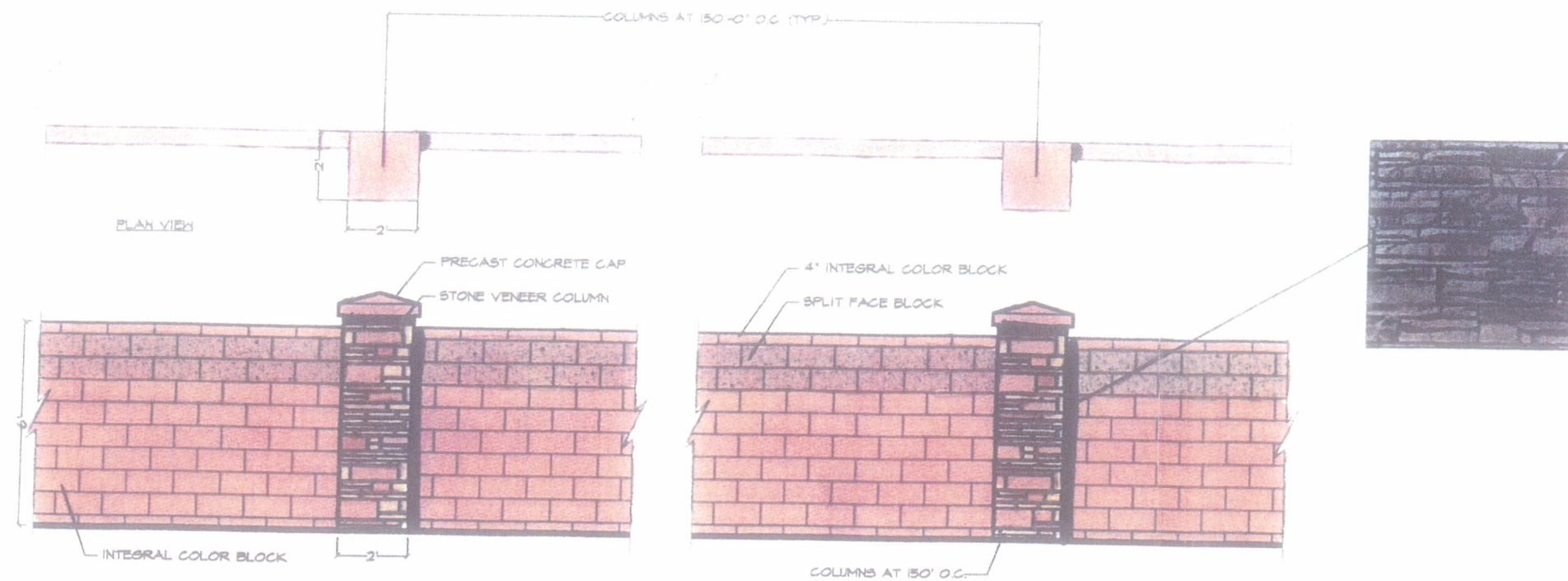
## PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
<b>TREES</b>				<b>ACCENTS</b>			
	AGACIA SALICINA	WILLOW AGACIA	24" BOX		AGAVE GEMINIFLORA	TWIN-FLOWERED AGAVE	5 GAL
	AGACIA SALIGNA	BLUE LEAF HATTLE	24" BOX		DASYLIRION LONGISSIMUM	MEXICAN GRASS TREE	5 GAL
	CALBERGIA SISSOO	SISSOO TREE	24" BOX		HESPERALOE FUNIFERA	GIANT HESPERALOE	5 GAL
	EUCALYPTUS ERYTHROCORYS	REDCAP SUM	24" BOX		HESPERALOE PARVIFLORA	RED YUCCA	5 GAL
	EUCALYPTUS PAPUANA	SHOST SUM	24" BOX		MUHLENBERGIA CAPILLARIS	REGAL MIST	5 GAL
	NERIUM OLEANDER STANDARD	STANDARD OLEANDER	24" BOX		MUHLENBERGIA LINDHEIMERI	AUTUMN GLOW	5 GAL
	OLEA EUROPAEA	SHAN HILL OLIVE	24" BOX		PENNISETUM SETACEUM	PURPLE FOUNTAIN GRASS	5 GAL
	PINUS ELDARICA	MONDEL PINE	24" BOX		'CUPREUM'		
	PINUS HALEPENSIS	ALEPPO PINE	24" BOX	<b>VINES</b>			
	QUERCUS VIRGINIANA	HERITAGE OAK	24" BOX		BOUGAINVILLEA SP.	BOUGAINVILLEA	5 GAL
	SCHINUS TEREBINTHIFOLIUS	BRAZILIAN PEPPER	24" BOX		ROSA BANKSIAE	LADY BANKS ROSE	5 GAL
	SOPHORA SECUNDIFLORA	TEXAS MOUNTAIN LAUREL	24" BOX	<b>GROUND COVER</b>			
<b>SHRUBS</b>					CHRYSACTINIA MEXICANA	DAMIANITA	1 GAL
	BOUGAINVILLEA SP.	BOUGAINVILLEA	5 GAL		DALEA CAPITATA	SIERRA GOLD	1 GAL
	CALLIANDRA CALIFORNICA	BAJA FAIRY DUSTER	5 GAL		HYMENOXYS AGAULIS	ANGELITA DAISY	1 GAL
	CAESALPINIA FULCHERRIMA	RED BIRD OF PARADISE	5 GAL		LANTANA SP.	LANTANA	1 GAL
	DALEA FRUTESCENS	SIERRA NEGRA	5 GAL		ROSMARINUS OFFICINALIS	IRENE ROSEMARY	1 GAL
	EREMOPHILA SP.	VALENTINE	5 GAL		RUELLIA BRITTONIANA	KATIE RUELLIA	1 GAL
	LEUCOPHYLLUM CANDIDUM	THUNDER CLOUD	5 GAL	<b>TURF</b>			
	LEUCOPHYLLUM LAEVISATUM	CHIHUAHUAN SAGE	5 GAL			BERMUDA HYBRID	HYDROSEED
	NERIUM OLEANDER	PETITE PINK OLEANDER	5 GAL	<b>ANNUALS</b>			
	RUELLIA BRITTONIANA	BARJO RUELLIA	5 GAL			IN SEASON	PLANTS
	TECOMA STANS	YELLOW BELLS	5 GAL	<b>INERT GROUND COVER</b>			
						DECOMPOSED GRANITE	TO BE SELECTED
							5/4" SCREENED
						DOUBLE WASHED MORTAR SAND	FOR TOT LOTS
							12" DEPTH
						SELECT GRANITE BOULDERS	5 X 8 MIN
						CONCRETE HEADER	FOR TOT LOT
							6" X 16"
						TOT TURF	FOR TOT LOT
						PLAIN CONCRETE	4" X 6"
				<b>NOTES:</b>			
				1. CONTRACTOR TO VERIFY ALL QUANTITIES			
				2. CONTRACTOR TO PROVIDE DECOMPOSED GRANITE SAMPLES TO LANDSCAPE ARCHITECT FOR APPROVAL			

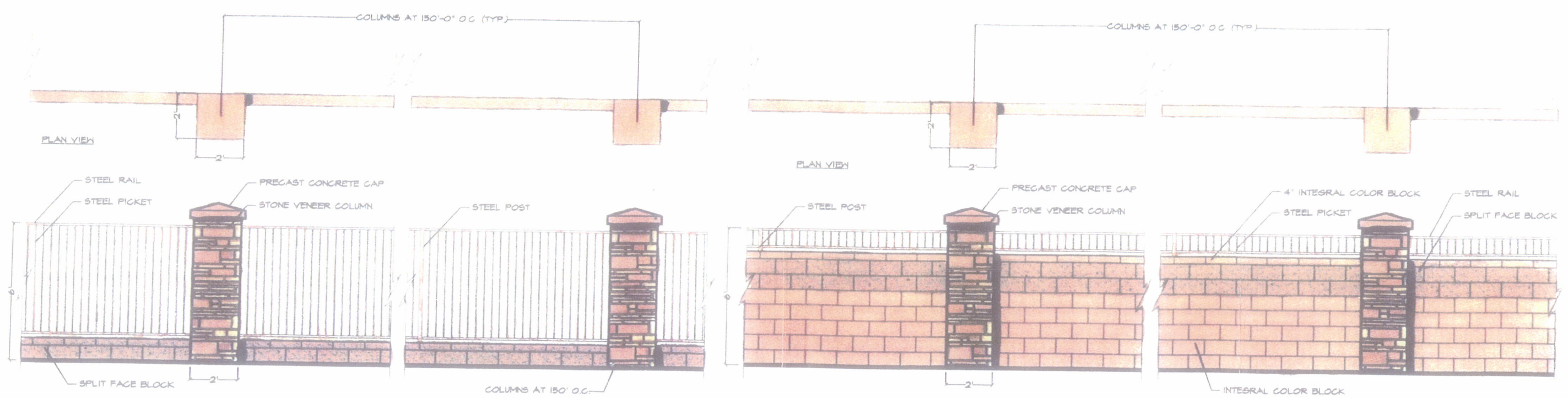
TAB 6

DATE: 11.14.03  
PDI #: 03080





(A) PERIMETER THEME WALL ELEVATION  
SCALE: 1/2" = 1'-0"



(B) VIEW WALL - 1' CMU AND 5' STEEL FENCE  
SCALE: 1/2" = 1'-0"

(C) VIEW WALL - 5' CMU AND 1' STEEL FENCE  
SCALE: 1/2" = 1'-0"

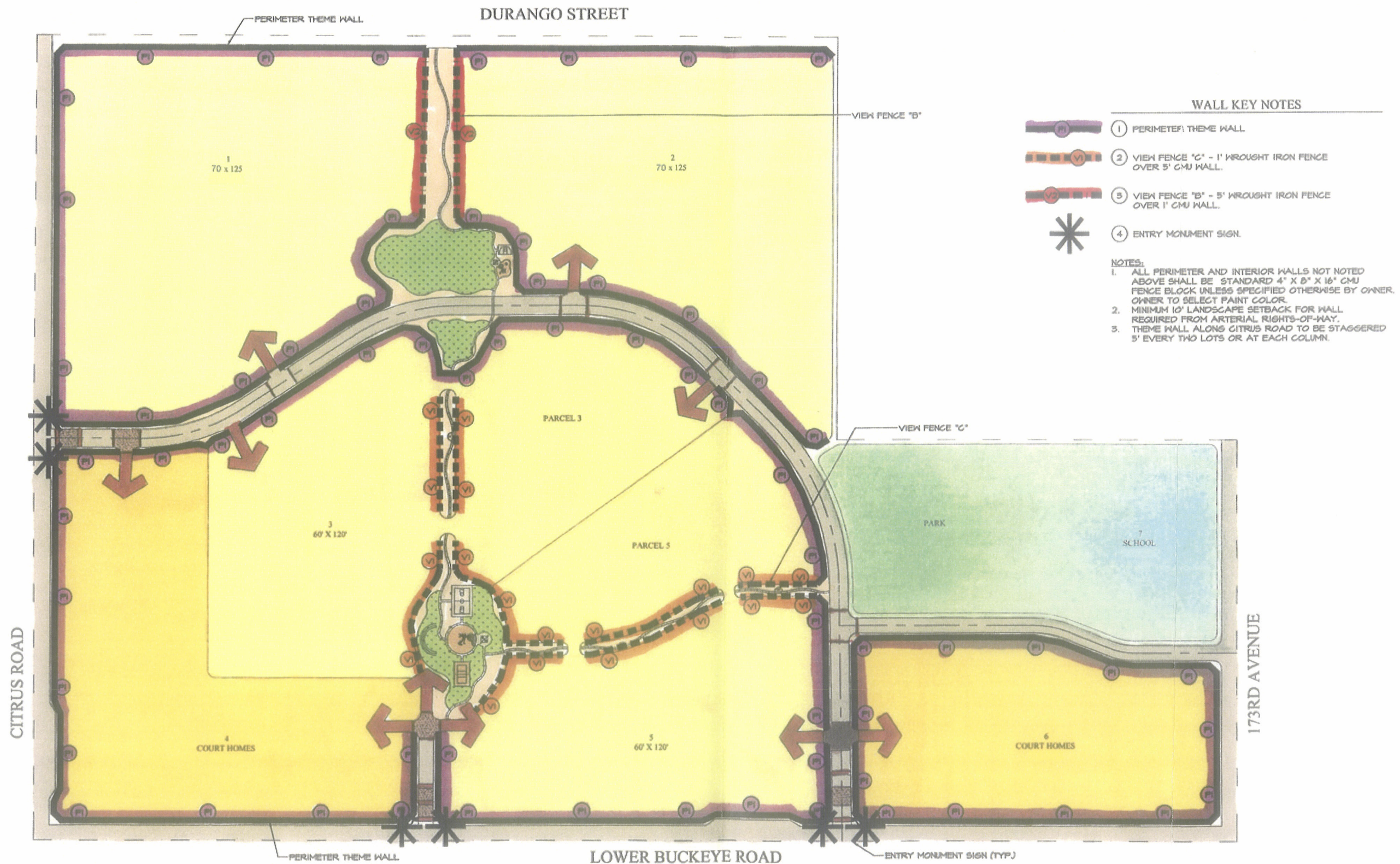
PINNACLE THEME WALLS  
DESIGN, INC

# LA JOLLA VISTA

1343 E. Camelback Rd.  
Suite 100 • Phoenix, AZ 85016  
Office: 602.952-9555 • Fax: 602-952-9556  
Job # 03040  
NOVEMBER 14, 2005

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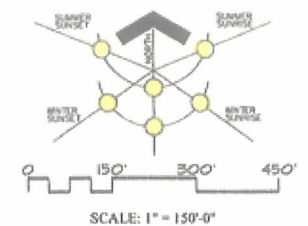


PINNACLE  
DESIGN, INC

## CONCEPTUAL WALL LAYOUT PLAN LA JOLLA VISTA

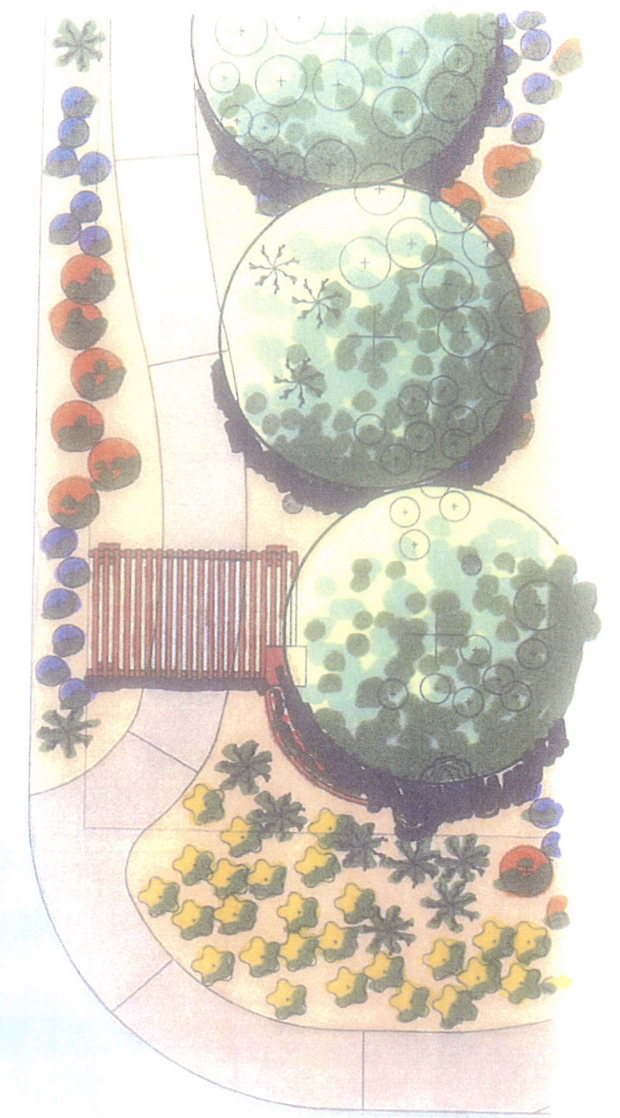
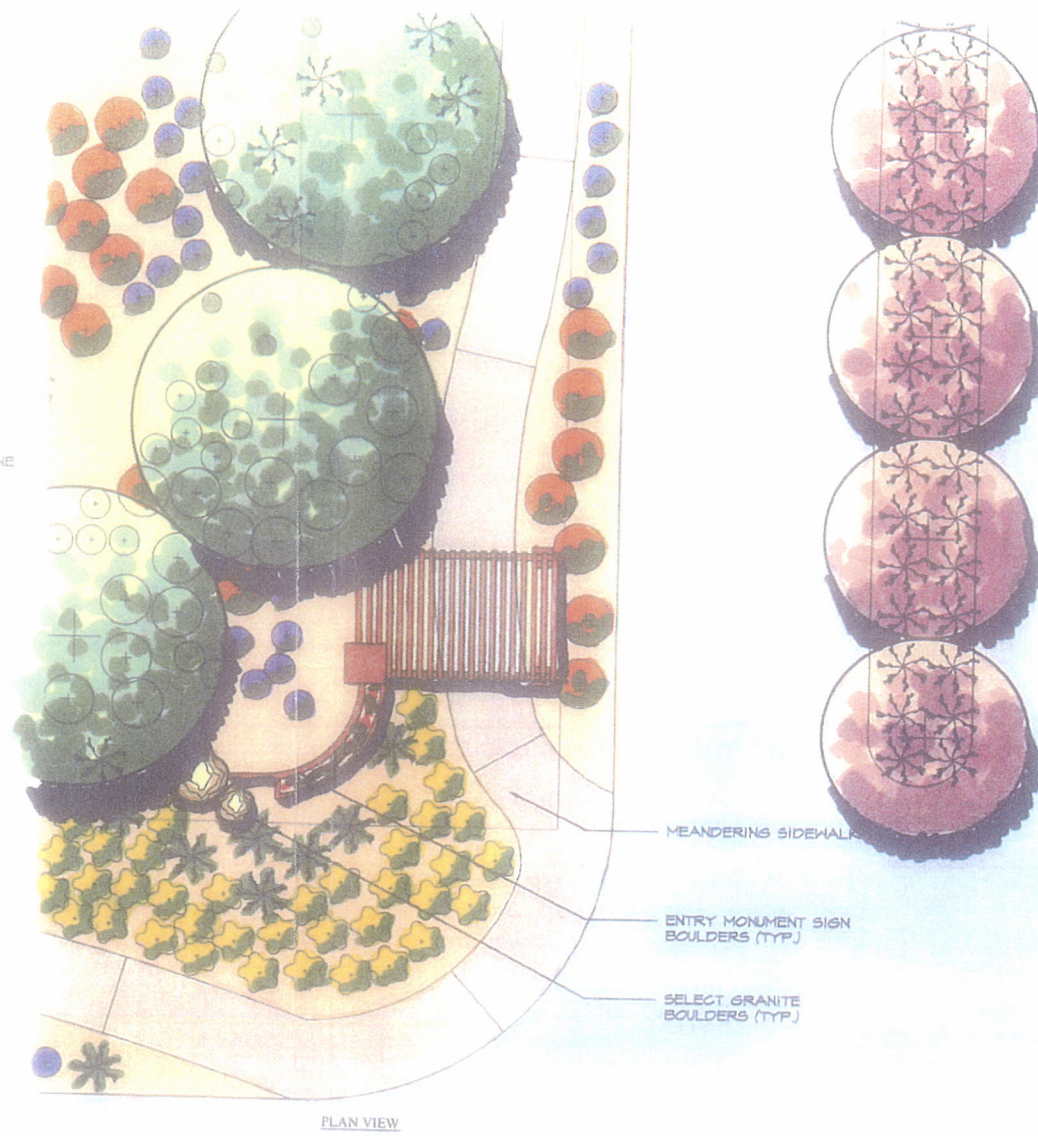
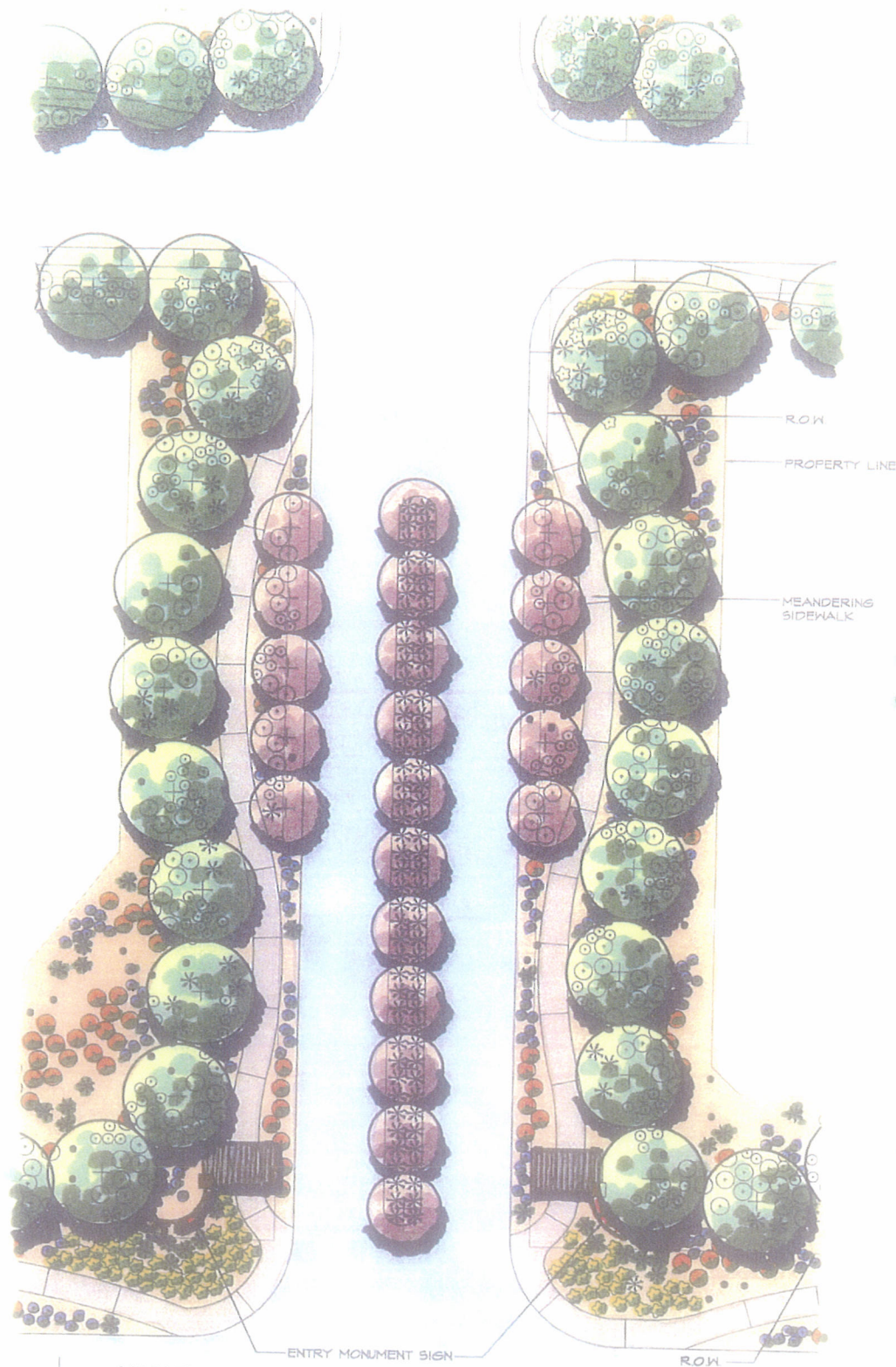
4343 E. Camelback Rd  
Suite 100 • Phoenix, AZ 85018  
Tel: (602) 952-8885 • Fax: (602) 952-8886  
Job # 03080  
NOVEMBER 14, 2005

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TAB 8





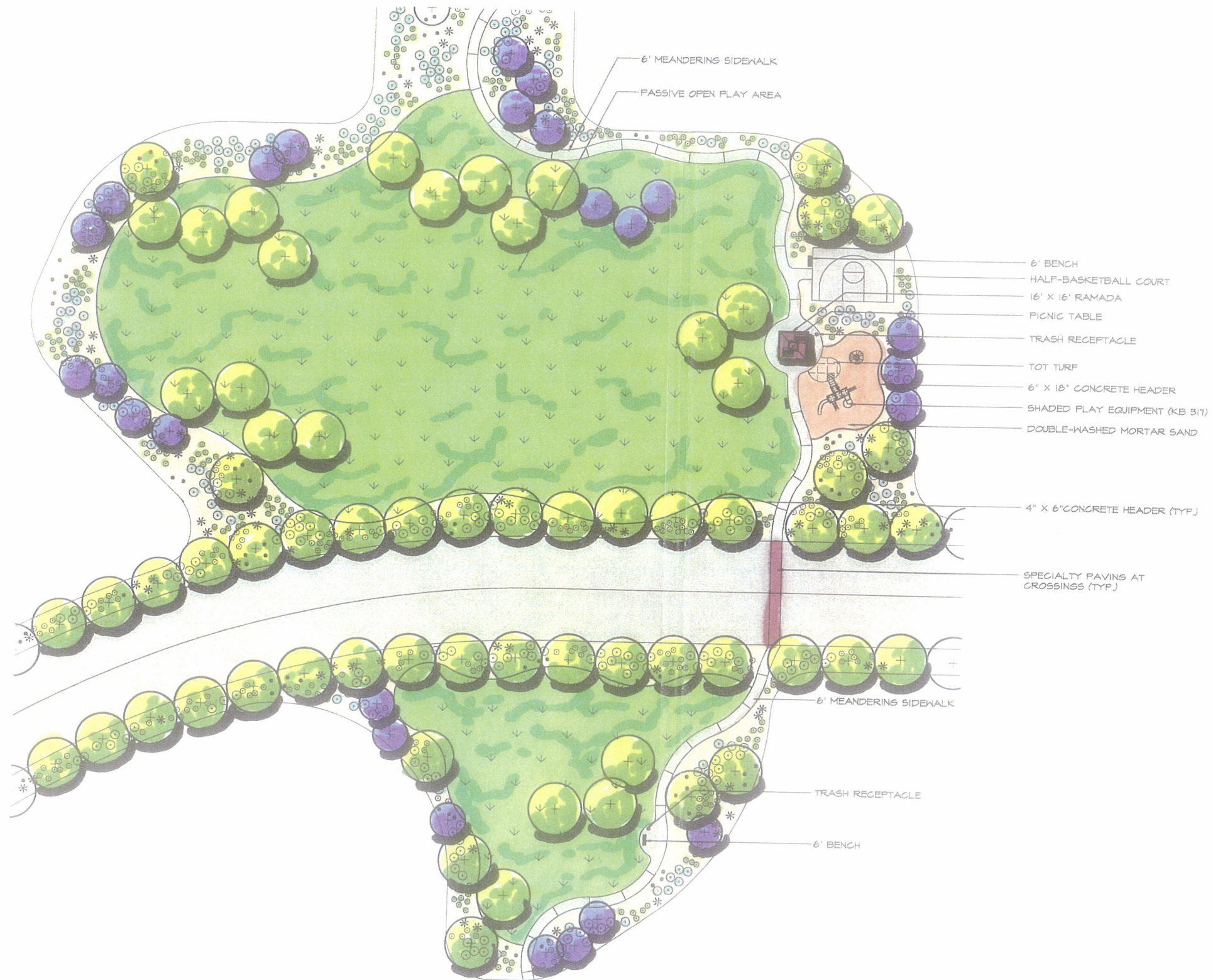
A MAIN ENTRY  
 REV. JUNE 26, 2005  
 PINNACLE  
 DESIGN, INC.

# MAIN ENTRY GEE PROPERTY

1343 E Camelback Rd  
 Suite 100 • Phoenix, AZ 85018  
 Ofc (602) 252-8585 • Fax (602) 252-8586  
 Job # 03080  
 NOVEMBER 14, 2005

THIS EXHIBIT IS CONCEPTUAL AND IS SUBJECT TO CHANGE WITH FINAL CONSTRUCTION DOCUMENTS





(A) MINOR PARK

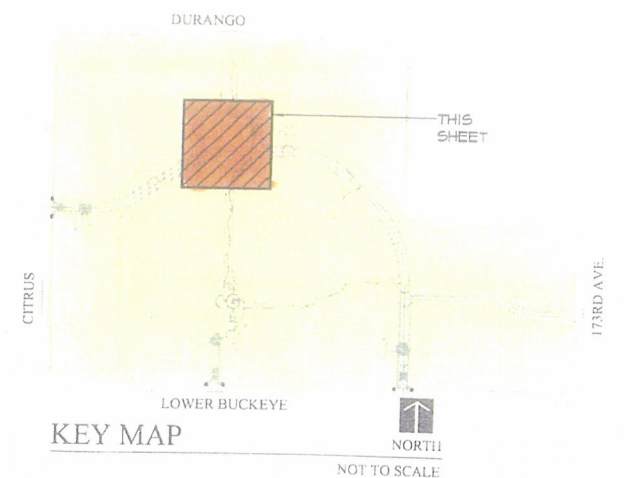
SCALE: 1" = 30'-0"

PINNACLE  
DESIGN, INC

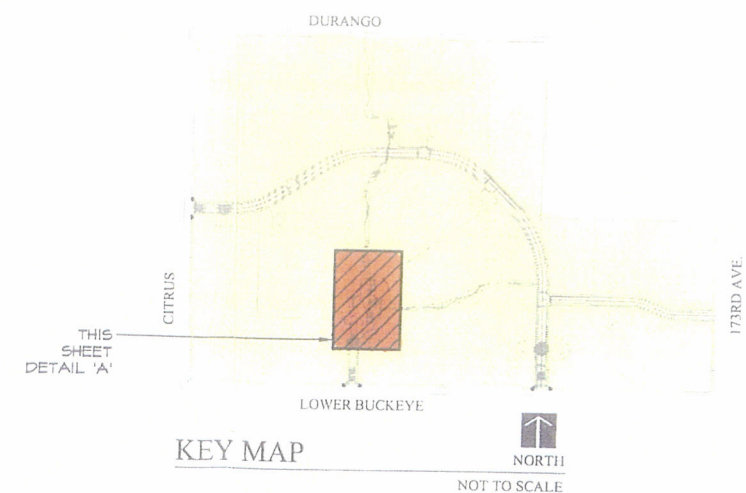
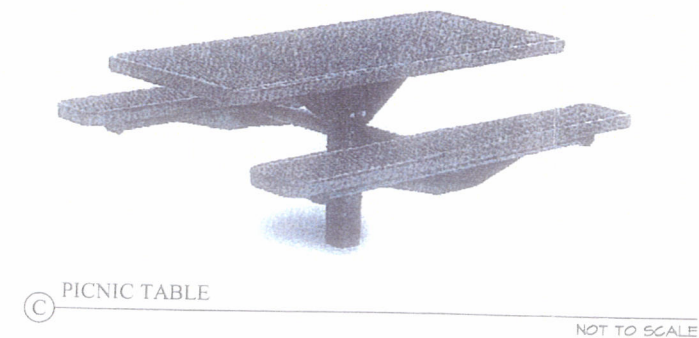
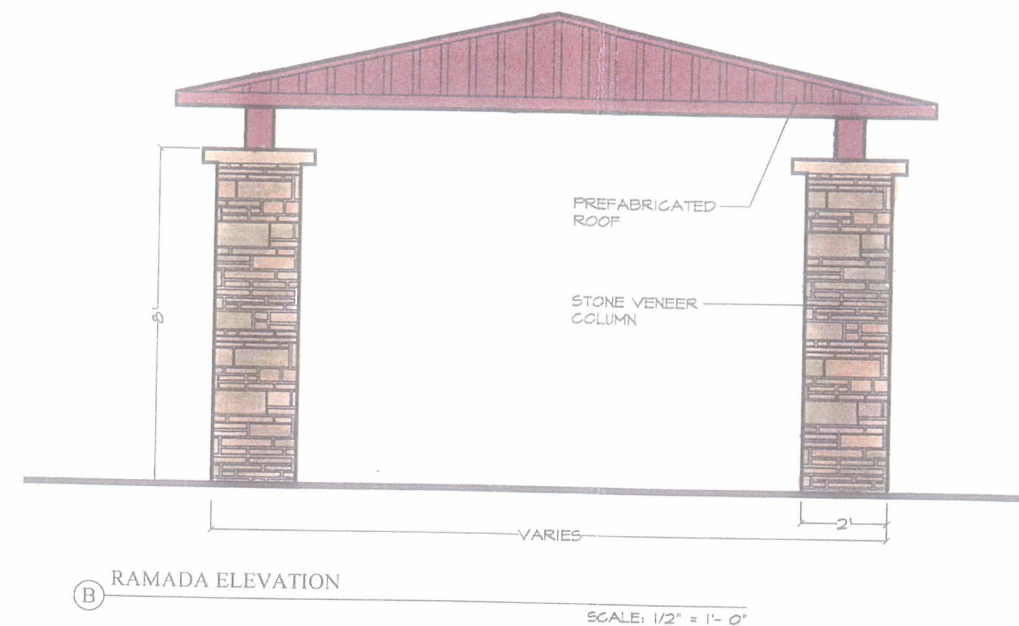
# OPEN SPACE AMENITIES LA JOLLA VISTA

4343 E. Camelback Rd  
Suite 100 Phoenix, AZ 85018  
Off: (602) 952-8585 Fax: 952-8686  
Job # 03080  
NOVEMBER 14, 2005

THIS EXHIBIT IS CONCEPTUAL AND IS SUBJECT TO CHANGE WITH FINAL CONSTRUCTION DOCUMENTS







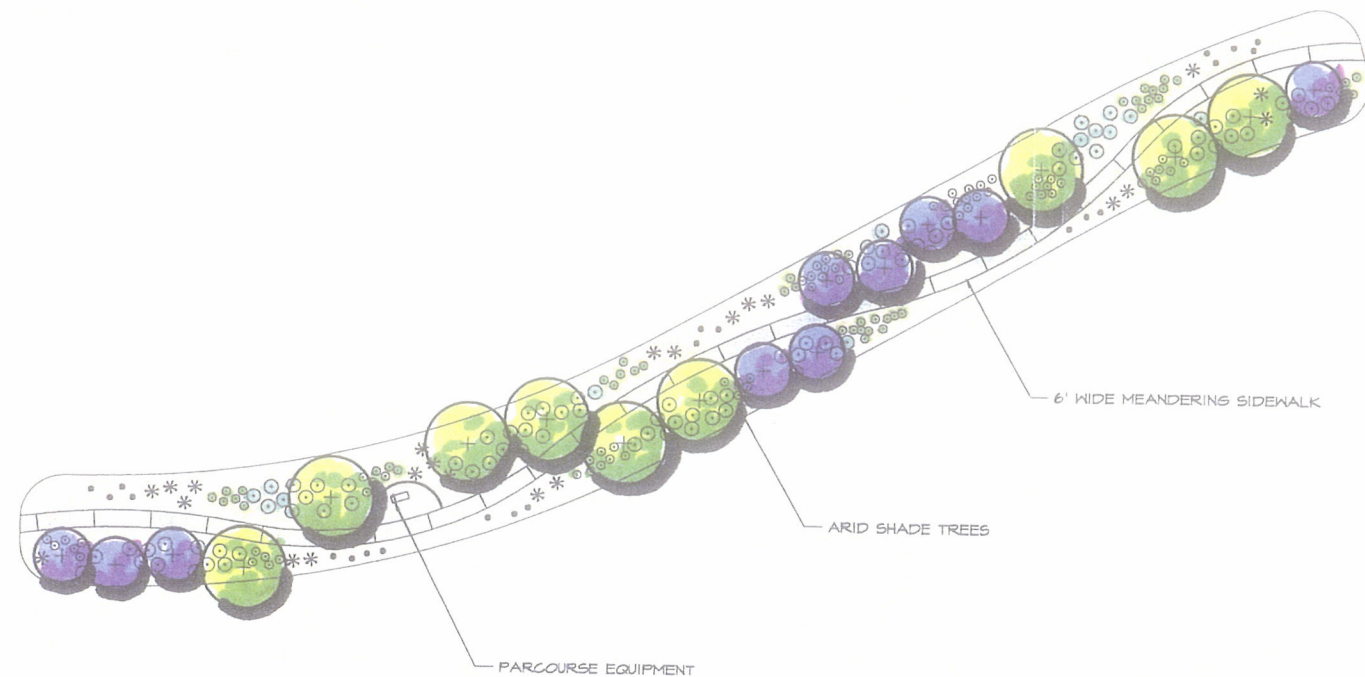
PINNACLE  
DESIGN, INC

# OPEN SPACE AMENITIES LA JOLLA VISTA

4343 E. Camelback Rd  
Suite 100 • Phoenix, AZ 85018  
Off: (602) 952-8585 • Fax: 952-8586  
Job # 03080  
NOVEMBER 14, 2003

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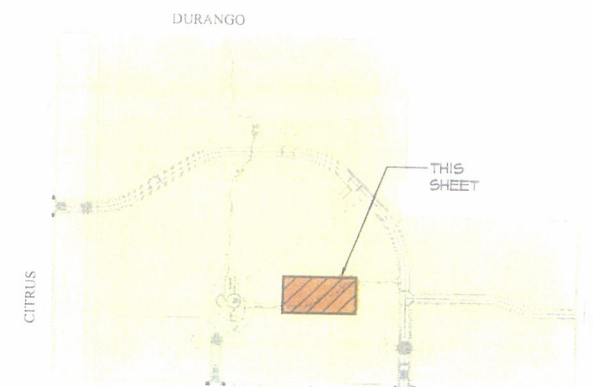
(A) PAR COURSE  
SCALE: 1" = 30'-0"



(B) 6' BENCH  
NOT TO SCALE



(C) TRASH RECEPTACLE  
NOT TO SCALE



KEY MAP  
NOT TO SCALE

PINNACLE  
DESIGN, INC

# OPEN SPACE AMENITIES LA JOLLA VISTA

4343 E. Camelback Rd  
Suite 100 Phoenix, AZ 85018  
Ofc: (602) 952-8585 Fax: (602) 952-8686  
Job # 03080  
NOVEMBER 14, 2005

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PLAY EVENTS: 17  
# OF CHILDREN: 56

(A) PLAY EQUIPMENT - KB315

NOT TO SCALE



PLAY EVENTS: 10  
# OF CHILDREN: 24

(B) PLAY EQUIPMENT - KB317

NOT TO SCALE

## OPEN SPACE RECREATION EQUIPMENT

DESCRIPTION	QTY.
16' X 16' AMERICANA SHELTER (ROOF ONLY)	2
WABASH S570, 6' BENCH WITH BACK OR APPROVED EQUAL	9
WABASH S606, 6' PICNIC TABLE OR APPROVED EQUAL	6
WABASH LRD32, TRASH RECEPTACLE WITH LID OR APPROVED EQUAL	4
VOLLEYBALL BOUNDARY MARKERS, MODEL 8569 BY PW ATHLETIC OR APPROVED EQUAL	1
VOLLEYBALL POSTS, MODEL 2214-21 BY PW ATHLETIC OR APPROVED EQUAL	1
VOLLEYBALL NET, MODEL 8561-10 BY PW ATHLETIC OR APPROVED EQUAL	1
BASKETBALL SET, MODEL 1527-22-39 BY PW ATHLETIC OR APPROVED EQUAL	3
PW BASKETBALL GOAL - MODEL # 1527, BACKBOARD # 11	3
DOUBLE RING GOAL RING WITH CHAIN NET MODEL # 36 OR APPROVED EQUAL	
KID BUILDERS PLAY STRUCTURE 315 OR APPROVED EQUAL	1
KID BUILDERS PLAY STRUCTURE 317 OR APPROVED EQUAL	1
KID BUILDERS PLAY STRUCTURE 322 OR APPROVED EQUAL	1

### NOTES:

1. ALL EQUIPMENT TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
2. CONTRACTOR TO PROVIDE SHOP DRAWINGS OF EQUIPMENT AND INSTALLATION TO LANDSCAPE ARCHITECT FOR APPROVAL.

**PINNACLE  
DESIGN, INC**

OPEN SPACE AMENITIES

**LA JOLLA VISTA**

6045 E. Camelback Rd  
Suite 100 Phoenix, AZ 85018  
Office (602) 998-8888 or Fax (602) 998-8888  
Job # 03000  
NOVEMBER 14, 2005

THIS EXHIBIT IS CONCEPTUAL AND IS SUBJECT TO CHANGE WITH FINAL CONSTRUCTION DOCUMENTS

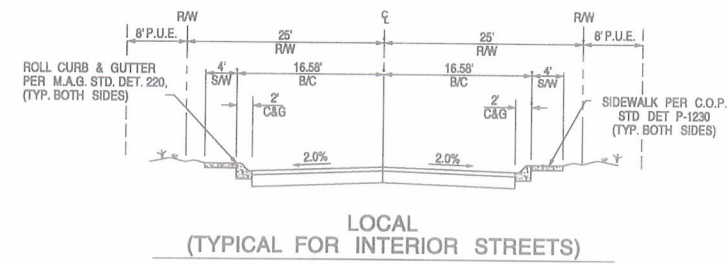
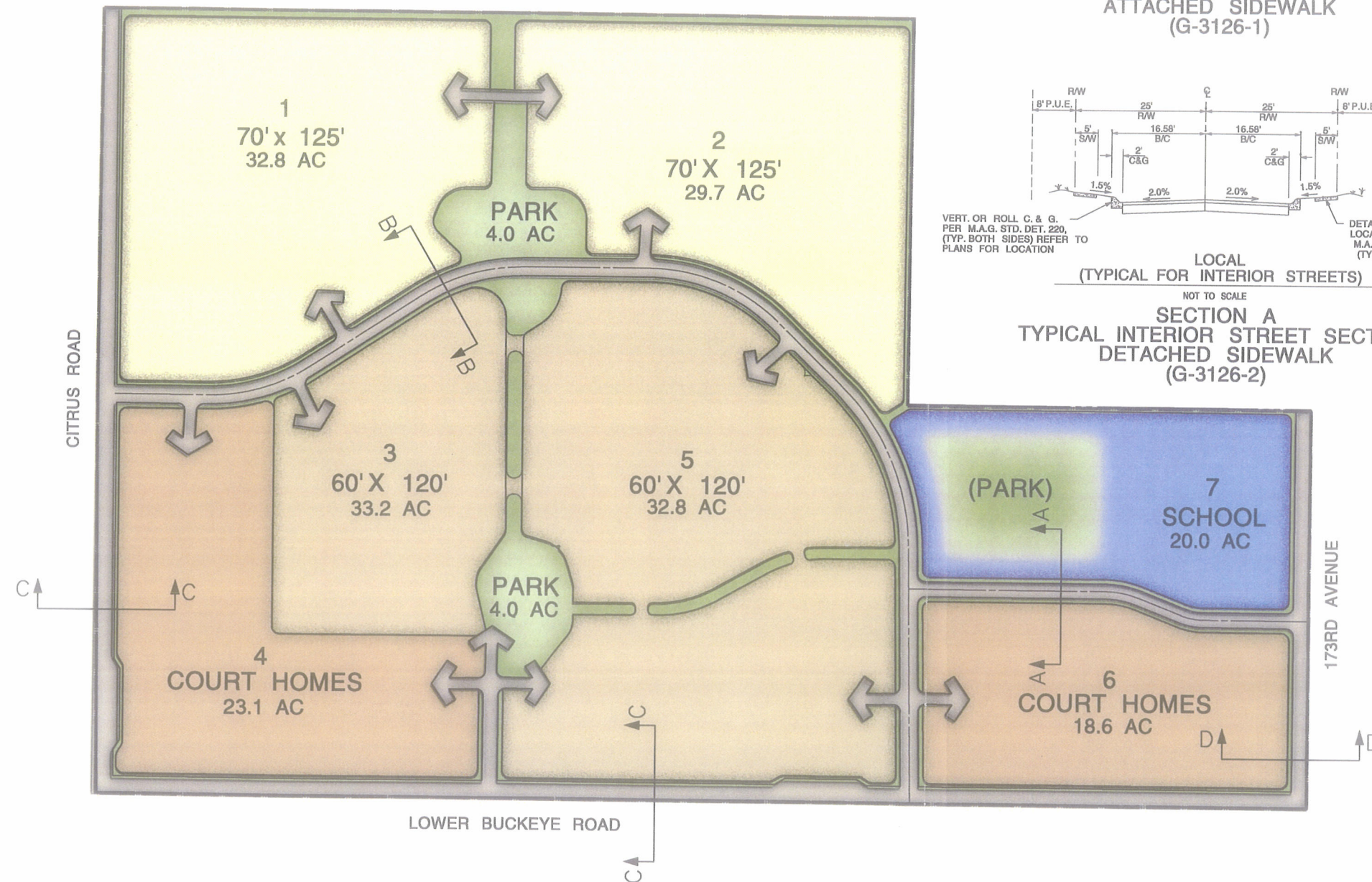
**TAB 10**

Exhibit Has Been Removed

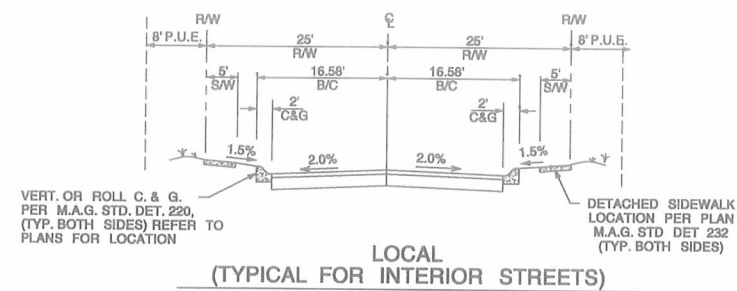


# LA JOLLA VISTA

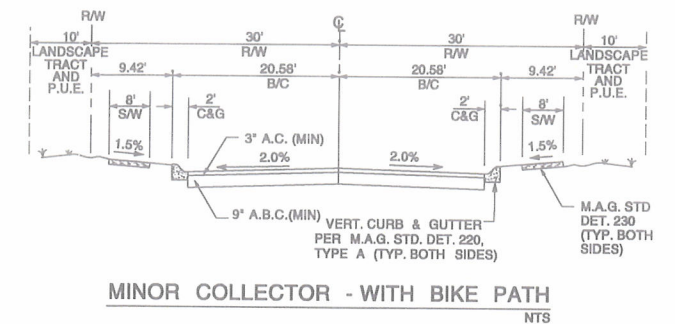
## ROADWAY LOCATION AND CLASSIFICATION



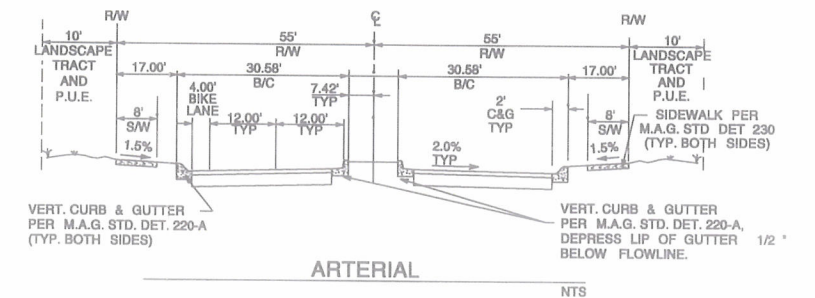
SECTION A  
TYPICAL INTERIOR STREET SECTION  
ATTACHED SIDEWALK  
(G-3126-1)



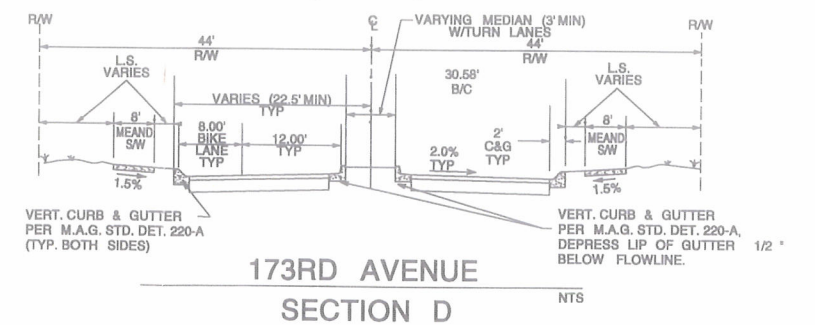
SECTION A  
TYPICAL INTERIOR STREET SECTION  
DETACHED SIDEWALK  
(G-3126-2)



SECTION B  
(G-3124-1)



SECTION C  
(G-3122)



DATE: Sep. 17, 2004  
TIME: 07:49:21  
FILE: n:\03005\landplec-r\_joc&c.dgn

TAB 12  
DATE: 7-11-05



**La Jolla Vista  
P.A.D. with underlying R1-6  
Single Residence Development Standards**

<b>Development Standard</b>	<b>Proposed</b>
Minimum Net Site Area	6000 S.F.
Minimum Lot Width	60 ft.
Minimum Lot Depth	100 ft.
Maximum Height	30 ft.
Maximum Building Coverage	45% - Single Story 40% - Two Story
<b>Building Setbacks</b>	
Front	*20 ft./**10 ft.
Total Both Sides	15 ft.
Minimum Side Yard	5 ft.
Rear yard	20 ft.
Street Side	10 ft.

\* 3 ft. stagger every 3<sup>rd</sup> lot.

\*\* Ten foot setback for side entry garage and front living area.

**Tab13**

## La Jolla Vista Court Home Development Standards

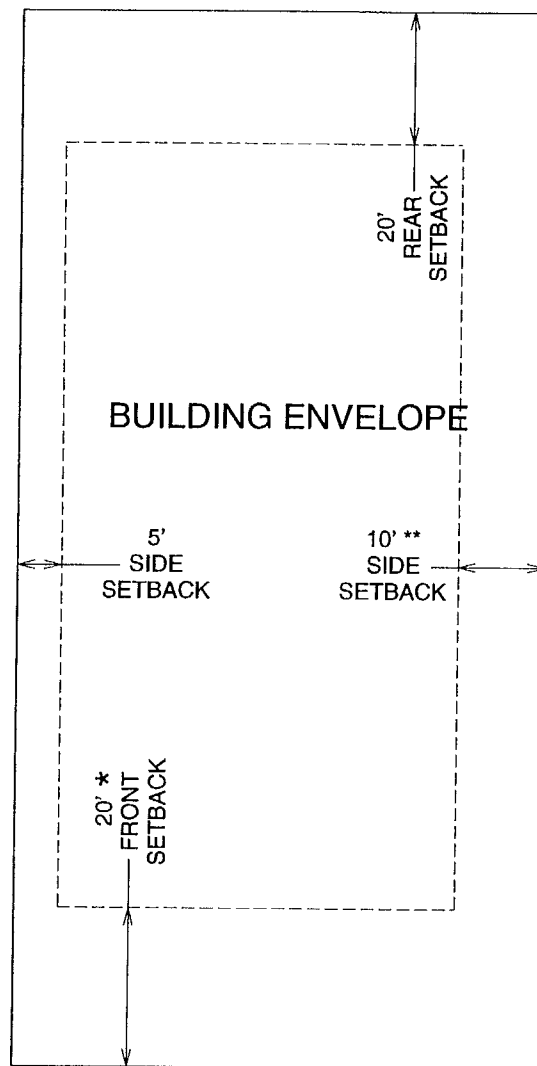
Standard	Front	*Side	Rear	**Lot Coverage	Min. Lot Area	Max. Height/Stories
<b>SF-D</b>	10'	0'	10'	60%/50%	2,500sf	30'2
<b>SF-A</b>	10'	0'	10'	65%/55%	2,000sf	30'2

\*In the SF-D district, a minimum of 10' shall be provided between dwelling units. In the SF-A district, a minimum of 15' shall be provided between multiple dwelling buildings.

\*\* In the SF-D district, the maximum lot coverage for lots containing one story dwelling units is 60%. Lots containing two-story dwelling units shall maintain maximum lot coverage of 50%. In the SF-A district, the maximum lot coverage for lots containing one story dwelling units is 65%. Lots containing two-story dwelling units shall maintain maximum lot coverage of 55%.

# LA JOLLA VISTA

PAD, R1-6 SINGLE RESIDENCE  
60' - 70' WIDE LOT LAYOUT



60' - 70' LOT WIDTH

- \* Ten foot setback for side entry garage and front living area.
- \*\* Ten foot landscape tract is provided adjacent to street side lots, the additional setback shall not apply.

TAB 14 N.T.S.

DATE: 6-29-05

**CYL**



## **La Jolla Vista Residential Design Guidelines**

The overall community character of La Jolla Vista will be that of a rural agrarian theme. It will be the goal of this project to fit into the existing fabric of the surrounding community. These preliminary guidelines will be the basis of future CC&R's that will be utilized to guide, create and maintain a high-quality development that fits well with the visions and desires of the City of Goodyear and the surrounding area.

All design will comply with the prevailing City of Goodyear Design Guidelines.

### **1. Standard Lot Design Guidelines**

#### **Residential Architecture**

While each individual builder has their own architectural vernacular in which they excel, these guidelines and the subsequent CC&R's are developed to guide all project visioning in a shared direction. All builders will be encouraged to offer as much variety in home design and building materials as possible. A minimum of five (5) floor plans, each with a minimum of three (3) varied front elevations will be used throughout the La Jolla Vista project to provide a variety of housing alternatives and increase visual interest.

Varied architecture reflecting differing styles and materials will be utilized for each grouping of homes provided by all builders within this development. A minimum of three (3) different color values will be necessary for the roof material and exterior paint colors. Colors chosen for the buildings must be an earth tone of similar soft hue – no bright or “gaudy” colors will be permitted.

There should also be some variety in entry door, garage door and window treatments for the different home models from each builder. It will be required that homes adjacent to each other use differing architectural details and floor plans to create varied forms, massing, materials, and architectural proportions throughout the La Jolla Vista community. These variations will be achieved through the use of carefully designed reveals, recesses, trim treatments, courtyards, porches/patios, and landscape.

Builders will be encouraged to reduce the visual impact that garages make on each street scene throughout the community. Side entry garages, especially on the larger lots will be encouraged along with the recessing and staggered garage setbacks for the smaller lots.

All heating and cooling equipment shall be placed on the ground or otherwise be screened so as not to be visible from the front or side streets of the community. Any screening utilized should match the architectural features, materials, and colors of the dwelling unit to which it services.

All windows to be recessed, pop-outs or reveals.

There shall be no two-story homes adjacent to arterials, unless there is a minimum 35 ft. landscape tract.

There shall be no more than two two-story homes in a row.

Garage locations shall vary every 3<sup>rd</sup> house.

#### Walls & Fences

All walls and fences used throughout the development shall be designed and detailed to enhance the community's rural theming.

Perimeter/Theme walls will utilize materials that are complimentary and harmonious to the building types. CMU block, both smooth and textured as well as stucco and split rail may be used. Other materials may be utilized as long as they are in concert with materials used within the project.

Interior/Privacy walls may be used within the project as long as they are not directly in view from collector and arterial roadways. These wall colors and materials may vary as long as they correspond to the colors and materials used on the perimeter/theme walls and blend with the building styles.

View fencing may be utilized within La Jolla Vista where appropriate.

#### Landscaping and Open Space

Any areas dedicated to open space or parks shall be landscaped. Low-water (xeric) plant material will be encouraged. Homeowners will be allowed the flexibility in selecting plants for their front yards from a future plant list that will be included in the CC&R's. Each homebuilder will be required to landscape the front yards within 30 days of occupancy.

The front yard landscaping of each home shall include at least 3 trees (2 – 15 gallon and 1 – 24 inch box), shrubs, groundcover and an underground irrigation system.

#### CC&R's – Covenants, Conditions, & Restrictions

The future CC&R's for La Jolla Vista will set forth rules and regulations governing homeowner's rights and responsibilities as they pertain to their real property. These CC&R's will list items that are allowed within the community as well as any restrictions/prohibitions as it relates to a homeowner's lot and dwelling unit.

### Architectural Review Board

An Architectural Review Board will be established to oversee and approve any non-standard lot improvements within La Jolla Vista. A two-member committee designated by the master developer will initially be put into place but may eventually be replaced by a Homeowners Association sponsored committee. This committee will be charged with the review of all development to ensure that it is in compliance with the CC&R's. Their duties may involve the review and internal approval of building plans, specifications and designs. However, this review and approval will not supercede or replace any City of Goodyear requirements.

### Homeowner's Association

A Homeowner's Association (HOA) will eventually be organized and funded through monthly/yearly collected funds from each homeowner within the La Jolla Vista community. This association will be charged to ensure long-term compliance and enforcement with the CC&R's for the community. It will also organize and oversee the maintenance and upkeep of all common areas owned by the HOA.

## **2. Court Home Design Guidelines**

The following Court Home Design Guidelines have been developed and included as a part of the La Jolla Vista Final PAD to assure that the 6 - 8 DU/Ac Parcels are developed as high quality residential parcels consistent with the quality of the entire La Jolla Vista community. While referred to as "Court Homes" for the purpose of a description within this PAD, these parcels could include single family detached or single family attached products in a variety of innovative site design styles including, but not limited to: town homes, Z-lots, patio homes, court homes, or other neo-traditional housing products.

### Site Plan and Open Space

At this time, specific site plan design for the Court Home parcels is left open in order to allow a builder/developer to determine, through working with staff, a site-specific, innovative design product. In general the Court Home site plans may consist of detached or attached units sharing one or more private access ways connecting to public or private local streets. However, in some design styles units may access local roads directly with individual driveways such as in a Z-Lot design or any site design that will reduce building mass along the street and create a streetscape conducive to community living.

Whether grouped in pods or laid out individually, the units in these parcels will share common open space. The open space will be landscaped in a manner consistent with the entire La Jolla Vista PAD. The Common open spaces will also be equipped with amenities similar to that of the traditional single family lot parcels of the La Jolla Vista PAD. The specific level of amenities to be proposed will be submitted to the City and

subject to review and approval prior to the development of the parcel. However, the amenities proposed will be sufficient to create a quality community environment which will allow and encourage residents to enjoy pastime with their neighbors in the common open spaces; facilitating a safe and quality lifestyle.

Final Site Planning for the two Court Home Parcels providing specific layout, home product, product elevations, and open space amenity information will be submitted and approved by the City prior to the development of the parcels. Furthermore, site plans and product designs shall be subject to any additional Court Home Design Guidelines adopted by the City of Goodyear at that time.

### Architectural Design Theme

The same architectural design theme goals apply for Court home development as for single family development. Plans reflecting the area, compatibility and excellence of design are the criteria that will receive more emphasis in the design review process than adherence to a limited architectural "style". Regional architectural styles are favored, (e.g. Territorial, Santa Fe, Spanish, Mediterranean, Mission, Prairie and/or Ranch) while homes that are "transplanted" from regions with very different environments or styles shall be discouraged.

Elevations for Court homes shall continue the architectural theme (detail requirements) for front, side, and rear elevations. This is particularly important on residential units which back or side onto a street or common areas.

### Building Design and Architectural Character

#### A. Provide significant architectural differences in the elevations:

- Variety of roof lines, exterior colors, etc.
- Encouraging the use of architectural forms, proportions, materials, colors and other features that reflect and/or complement the design theme of Las Palmas
- Long, uninterrupted exterior walls shall be avoided on all structures. The goal is to achieve varied textures, relief, and design accents on building walls to soften the exterior elevation.

#### B. De-emphasize garage fronts as the most prominent feature of the dwelling front by encouraging:

- Varied garage door designs on elevations.
- Plane of garage door to be recessed from plane of exterior wall 12 to 18 inches, or the garage wall containing the door to be recessed 2'-0" from the main plane of the building.
- Limiting the area of the front elevation used as a garage to 65% of the front elevation plane.
- Architectural details around garage openings.

#### C. Emphasize distinctive architectural details on all elevation sides:

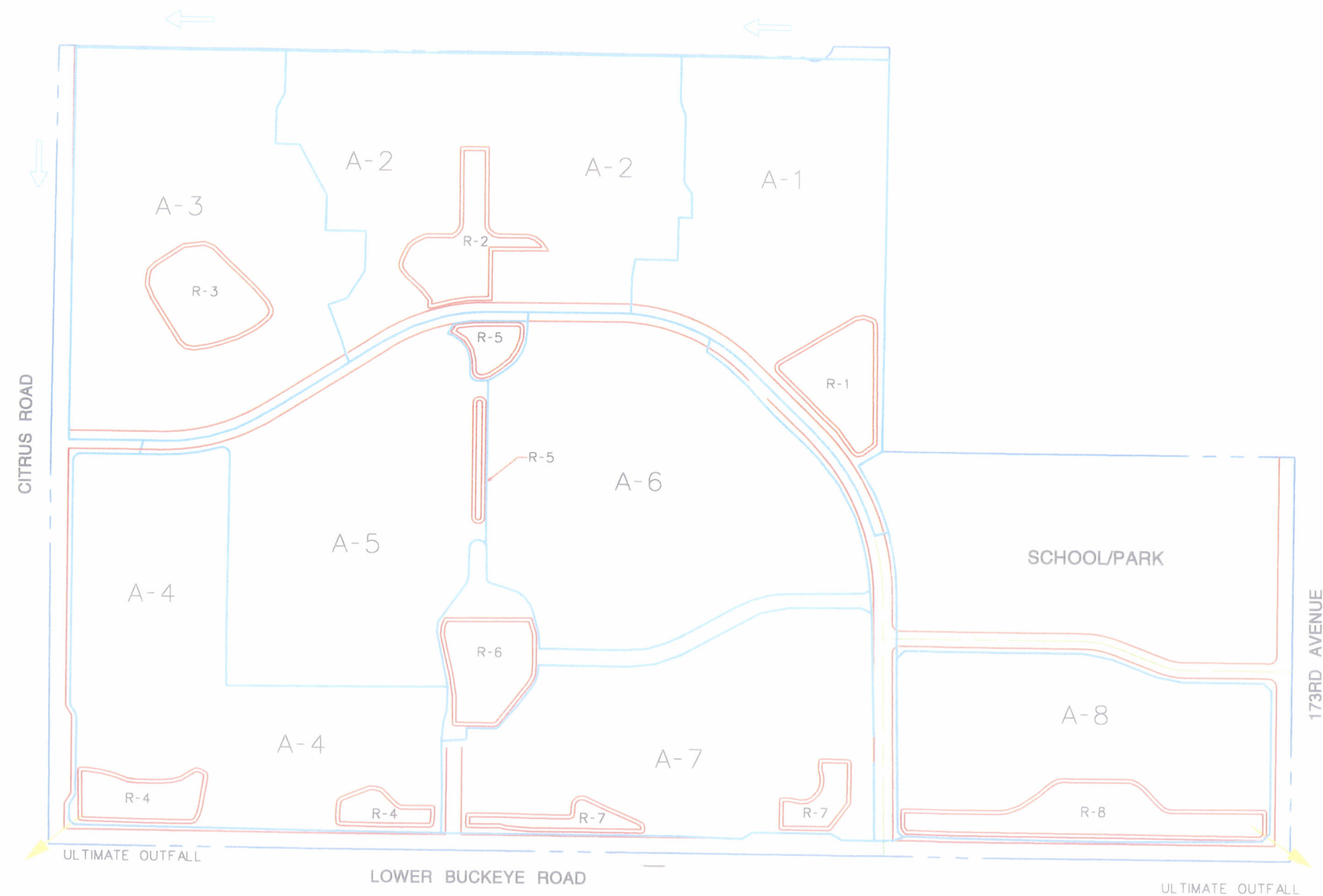


- Covered front entries, covered front porches and walled front courtyards or entry courtyards are encouraged.
  - Door and window details, roof overhangs, parapet walls with cap features, etc. are encouraged.
  - Recessed windows or windows trimmed with a stucco wrapped detail are preferred over flush windows to provide some solar protection.
  - Fascias or rolled stucco equivalent and stucco detail trim accents are encouraged.
  - Do not limit architectural details with the front elevation. Extend it to all four sides.
  - Chimney's caps shall incorporate materials consistent with the detailing of the principal elevations.
- D. Provide a variety of roofing colors, textures, and component shapes such as:
- Mission or concrete tile, barrel tile, or concrete shakes, are preferred materials for pitched roofs.
  - Asphalt shingles are not permitted.
  - Roof colors will be subject to approval and must be of a natural blend color.
  - Maximum reflectance shall not exceed 50%.
  - Varied roof pitch will be encouraged.
  - No roof-mounted mechanical equipment shall be permitted.
  - 30-year warranted roof materials are considered mandatory.
  - Three (3) color palettes minimum and three (3) roof tile types, minimum shall be provided.
- E. Provide screening or other accommodation for trash containers, recycling bins, household tools, and equipment.
- Screen ground-mounted mechanical equipment from public view by a minimum of four (4) foot height screen wall the same finish and color as the house.
  - Satellite dishes under 24" are permissible in non-obtrusive locations.
  - No type of antennae, television, amateur radio, or other shall be permitted within Las Palmas. This restriction is within FCC regulations. Temporary permits may be issued if cable service is not available at occupancy.
  - No exposed solar panels are allowed on structures or visible by public and/or adjacent/neighborhood properties.
- F. Incorporate a variety of durable exterior materials and finishes, e.g., brick or masonry as an alternative to stucco; tile inlays (instead of wood trim and stucco popouts), etc:
- Subdued colors that enhance the colors of the natural landscape are appropriate and encouraged. Deep rich colors (e.g. browns, siennas, ochres, grays) with the value (lightness or darkness) of the specific hue, derived from the immediate surrounding desert and landscape are preferred.

- Exterior elements and materials chose should be compatible with one another, appropriate to the home's architectural theme and be compatible with the existing neighborhood.
  - Materials that are foreign to the local region or inappropriate to the established vernacular should be prohibited. These include mirrored glass, wood siding, cultured marble and other cultured stones, asphalt shingles, wood shingles, metal siding, canvas or fabric awnings.
- G. Provide a variety of front yard landscape packages installed by the home builder prior to the issuing of a certificate of occupancy by the City.
- The La Jolla Vista Court Home parcels will provide a much needed opportunity to create diversity within the development. With Single Family Detached lots ranging from 115' in width to 55' wide with an average width of over 82' and an average lot area of nearly 12,000 square feet, the Court Homes will provide a much grater opportunity for home ownership to those fortunate enough to call La Jolla Vista home.

# LA JOLLA VISTA

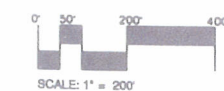
## PRELIMINARY DRAINAGE PLAN



### LEGEND:

- DRAINAGE AREA BOUNDARY
- DIRECTION OF ON-SITE FLOW
- R-11 RETENTION BASIN IDENTIFICATION
- A-12 DRAINAGE BASIN IDENTIFICATION
- ULTIMATE OUTFALL
- EXISTING OFF-SITE PEAK FLOW

DATE: Nov 17, 2004  
 TIME: 08:10:30  
 FILE: n:\030061\land\pdc-01m.dgn



TAB 16  
 DATE: 9-30-04



# LA JOLLA VISTA

## PRELIMINARY WATER PLAN



### LEGEND:

- PROPOSED WATERLINE
- EXISTING WATERLINE
- PROPERTY BOUNDARY
- PARCEL BOUNDARY
- PARCEL NUMBER

DATE: Nov. 17, 2003  
TIME: 09:05:01  
FILE: n:\030001\landsc-wr.dgn

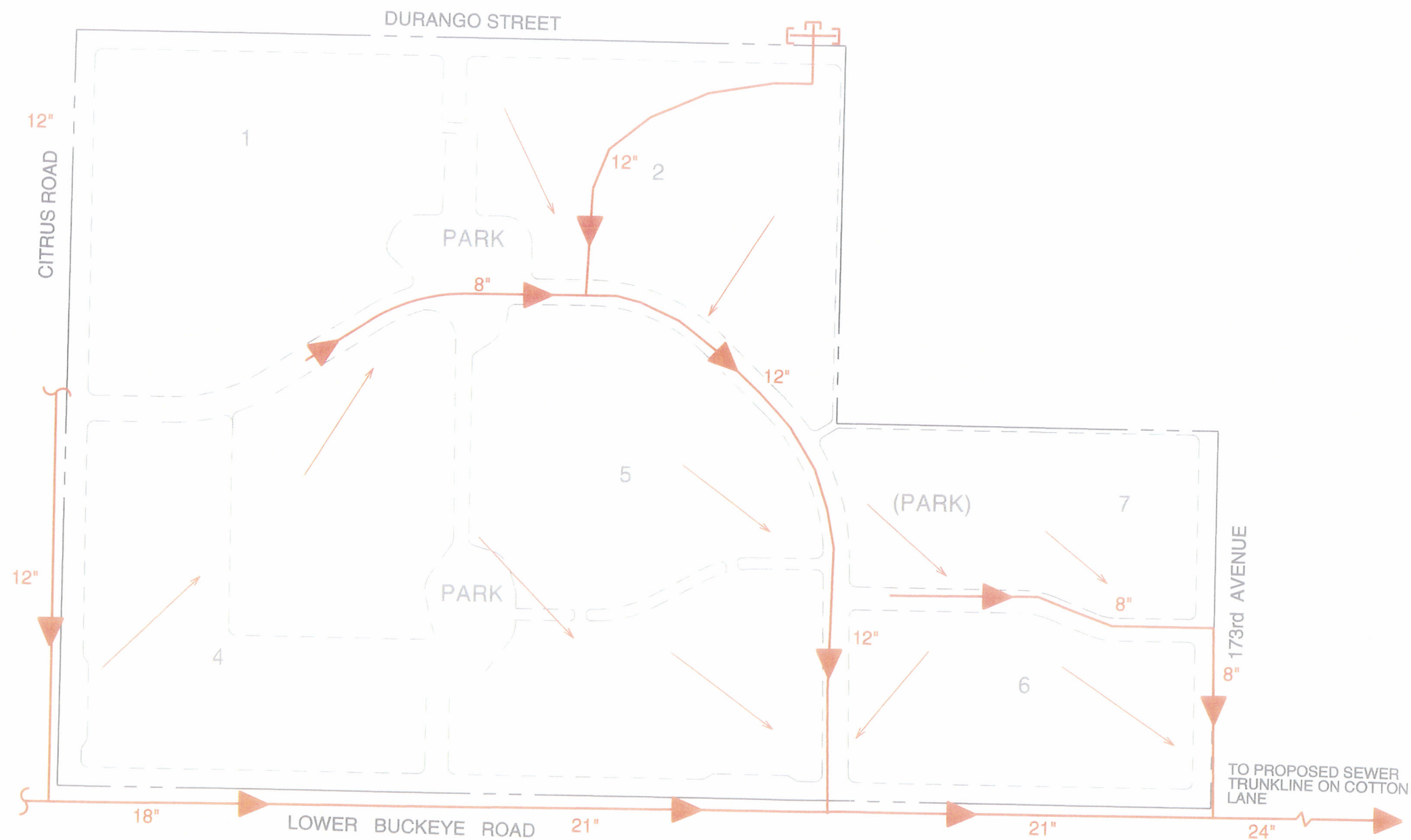
200' 100' 0' 200'  
SCALE: 1" = 400'

TAB 17  
DATE: 01-09-04



# LA JOLLA VISTA

## PRELIMINARY SEWER PLAN



### LEGEND:

- PROPOSED SEWERLINE
- PROPERTY BOUNDARY
- PARCEL BOUNDARY
- ← FLOW AREAS INTO SEWERLINES
- 1 PARCEL NUMBER

200' 100' 0 200'  
SCALE: 1" = 400'

TAB 18  
DATE: 01-09-04



**GOVERNING BOARD**

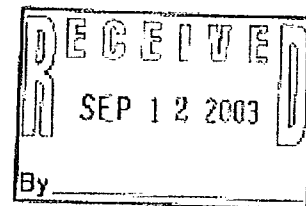
Mrs. Margaret Wood Carl  
Mrs. Gina Coburn  
Mr. O. K. Fulton  
Mr. Joseph McLaughlin  
Mrs. Debbie Piña

**ADMINISTRATION**

Mr. Doug Wilson - Superintendent  
Mr. Dudley Butts - Assistant Superintendent  
Mr. John Schmadeke - Director, Field Operations

750 E. Riley Drive, Avondale, AZ 85323 • VOICE (623) 932-7000 • FAX (623) 932-2796

September 10, 2003



Mr. Kelly Hall  
Protirement  
8501 N. Scottsdale Road, Suite 260  
Scottsdale, AZ 85283


Dear Mr. Hall:

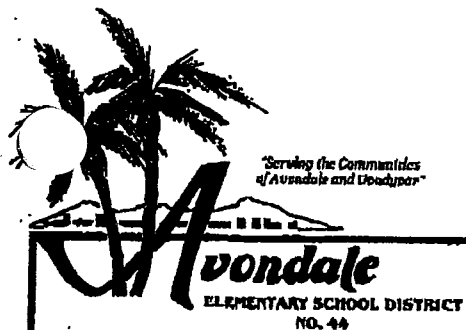
Agua Fria Union High School District acknowledges the ongoing development planning for the Gee Property Residential Development. Under our current Attendance Zones, students from this development would be attending Desert Edge High School. The District has incorporated school capacity into our Capital Planning process and anticipates completion of the Phase II construction at Desert Edge High School in the fall of 2004, well in advance of the need generated by your project.

We also appreciate your commitment to participate within the guidelines of the Southwest Cities, Schools, and Developers Partnership Compact, which in short entails donation of \$300 per residential unit to the Agua Fria Union High School District.

Thank you for providing advance information on your development so that we may plan for student capacity to meet the needs of our growing community.

Sincerely,

  
John F. Schmadeke  
Director, Field Operations



Dr. Catherine Stafford  
Superintendent

Dr. Linda Ronnebaum  
Assistant Superintendent

Marcie Celaya  
Executive Director of  
Business Services

September 24, 2004

Kelly Hall  
Westpac  
8501 N. Scottsdale Road, Suite 260  
Scottsdale, AZ 85253

Dear Mr. Hall:

Our recent discussions about La Jolla Vista have been very productive for our school district. We appreciate the opportunity to meet with all stakeholders in designing this project. You have listen to our school site needs and made adjustments.

Your development design is incorporating a 20-acre school site with three streets surrounding it. This design allows the school district to build a larger school with greater flexibility to ease traffic congestion and provide safer routes to school. The current and future housing developments have dictated our need for a larger school, which will impact traffic.

We want to continue this partnership as the development begins construction. Our work together will insure more economical access to sewer, water, and utilities. Please feel free to contact Mr. Don Klein, Director of Operations, to keep us informed throughout the process.

Once again, thank you for your willingness to work with us. I look forward to what we can do together for the children who will live in the La Jolla Vista and surrounding developments.

Sincerely,

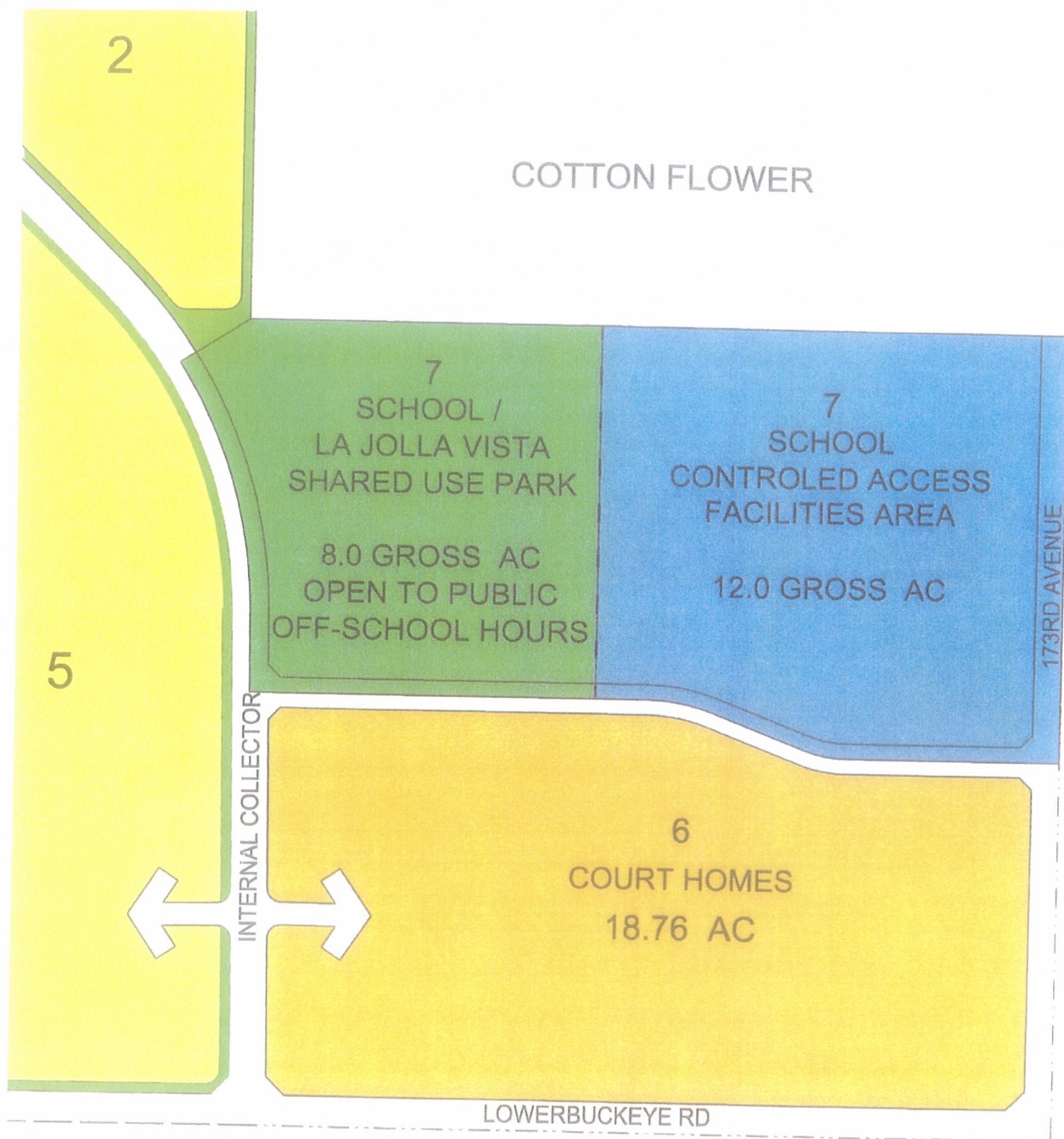
Dr. Cathy Stafford  
Superintendent

cc: Mr. Harvey Krauss, Community Development, City of Goodyear  
Mr. Doug Wilson, Superintendent, Agua Fria Union High School

*Kids First!*  
*Passion and Commitment for Educational Excellence*

TAB 19





# LA JOLLA VISTA SCHOOL SITE PARK

NTS  
DATE: 6/23/05



TAB 20