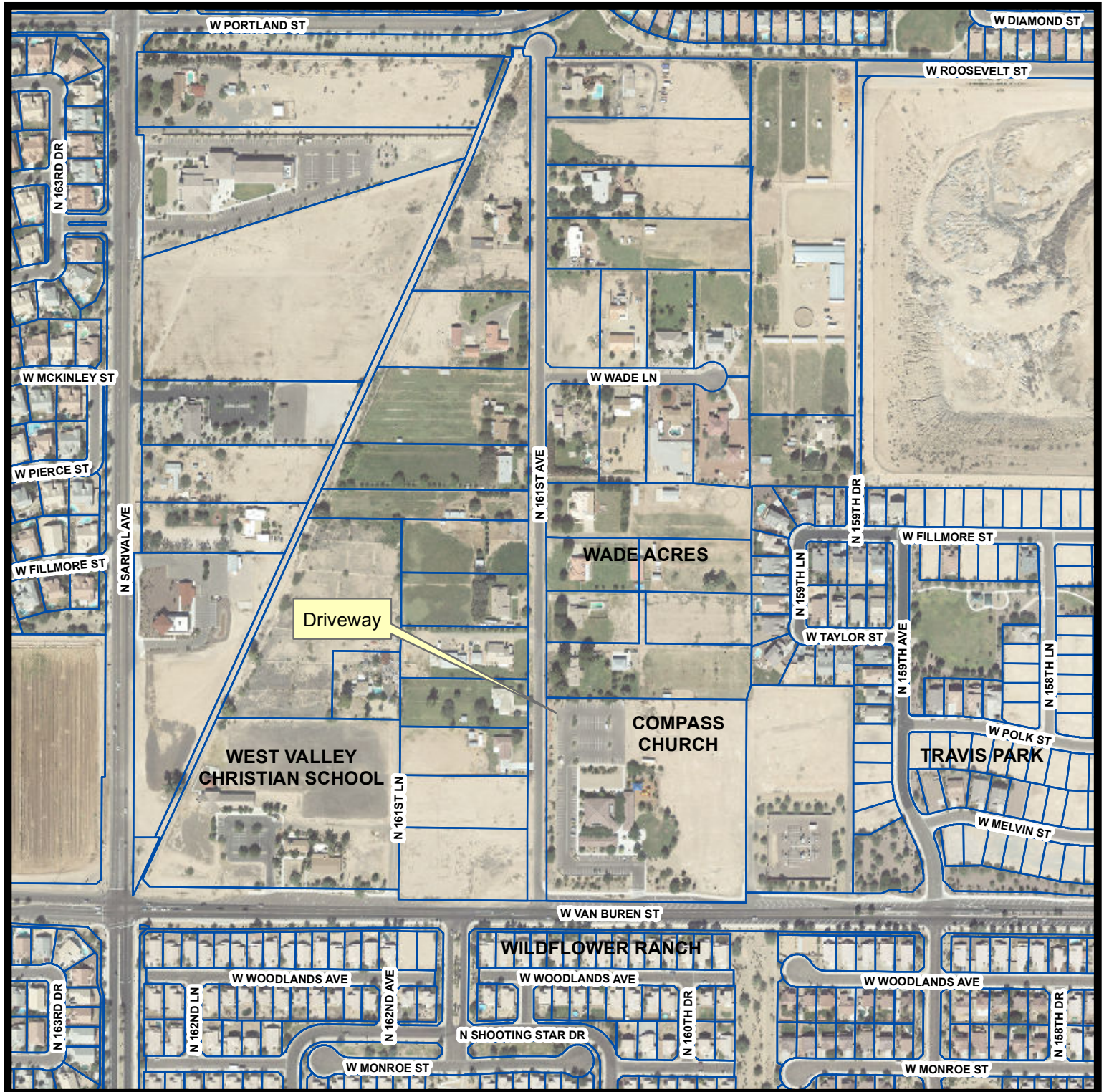
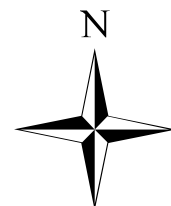


Aerial Photo Exhibit
Compass Church - Use Permit Amendment
Case No. 15-300-00003



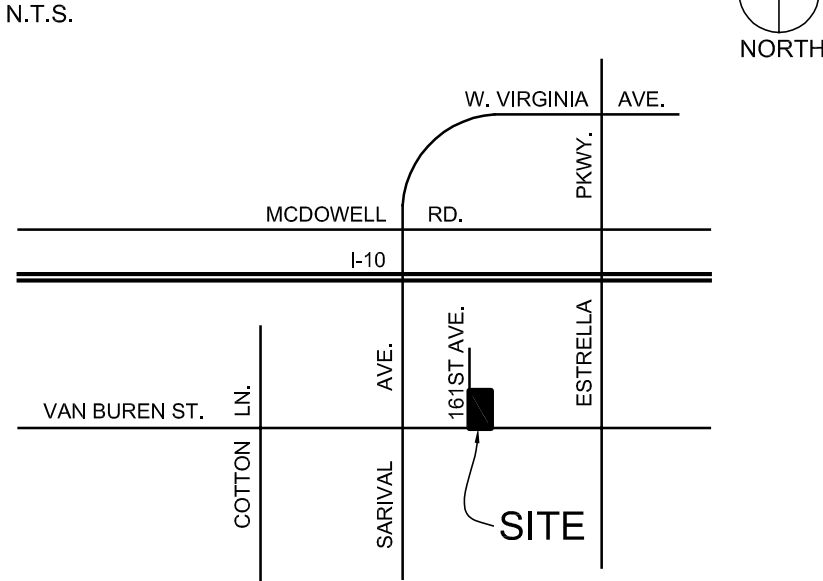
Drawn By: Steve Careccia
City of Goodyear Development Services Department
Date: 11.12.15



PROJECT DATA

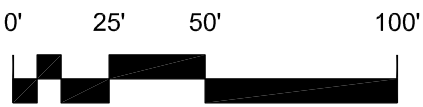
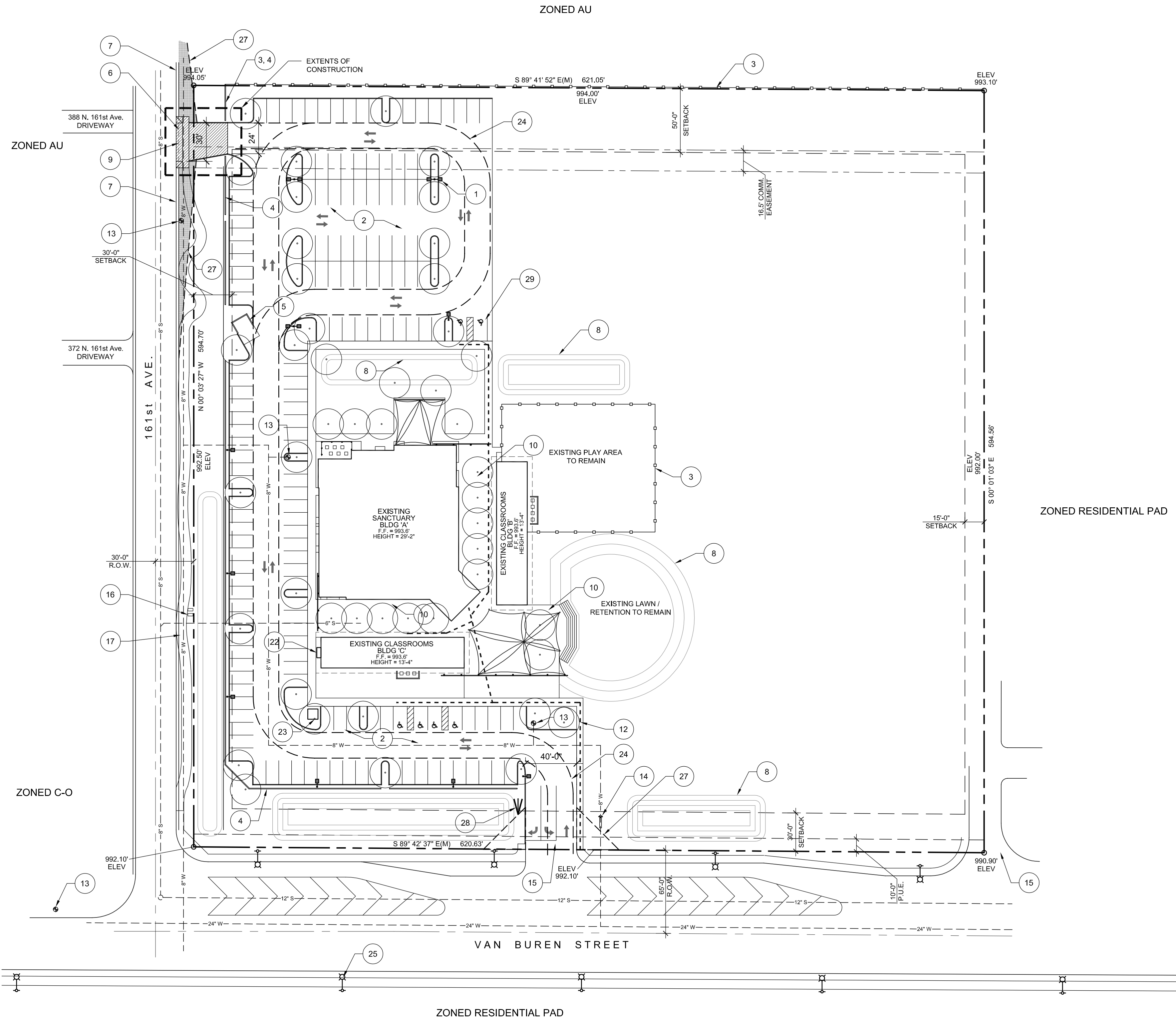
PROJECT CONTACTS:	OWNER COMPASS CHURCH 16060 W. VAN BUREN ST. GOODYEAR, AZ 85338 602.258.3060 office@compasschurchaz.com	ARCHITECT CCBG ARCHITECTS 102 EAST BUCHANAN PHOENIX, AZ 85004 602.258.2211 CONTACT: MARK PHILLIPS mphilips@ccbg-arch.com
PROJECT ADDRESS:	16060 W. VAN BUREN ST. GOODYEAR, AZ 85338	
PROJECT DESCRIPTION:	THE PROJECT CONSISTS OF CONSTRUCTING A NEW DRIVE ENTRANCE AT THE NORTHWEST CORNER OF THE SITE	
GOVERNING BUILDING CODES:	ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING CODES AND AMENDMENTS PER THEIR ADOPTING ORDINANCES. 2006 International Building Code 2006 International Energy Conservation Code 2006 International Mechanical Code 1994 Uniform Plumbing Code 2006 International Property Maintenance Code 2005 NFPA 70, The National Electrical Code Including Annex A - G 2003 ICC/ANSI A117.1 Accessible and Usable Buildings and Facilities Current Zoning Ordinances	
APN:	500.05.002S	
ZONING:	AU	
SITE AREA/COVERAGE:	GROSS - 395,092 SF, 9.069 ACRES NET - 368,339 SF, 8.458 ACRES TOTAL FOOTPRINT AREA: 16,981 SF SITE COVERAGE - 20% ALLOWED 16,981 / 368,339 = 5% ACTUAL O.K.	
SETBACKS:	STREET FRONTAGE - VAN BUREN ST. = 30'-0" SETBACK STREET FRONTAGE - 161ST AVE. = 30'-0" SETBACK SIDE YARD (EAST) - 15'-0" SETBACK REAR YARD (NORTH) - 50'-0" SETBACK	
BUILDING HEIGHT:	MAXIMUM ALLOWABLE: 30'-0" ACTUAL - EXISTING: 29'-2" O.K.	
OCCUPANCY:	EXISTING BUILDING 'A' - A-3 EXISTING BUILDINGS 'B' & 'C' - E	
CONSTRUCTION TYPE:	N/A	
SPRINKLER SYSTEM:	N/A	
BUILDING AREA:	BUILDING 'A' - OCCUPANCY A-3 - SANCTUARY, KITCHEN & MEETING SPACES EXISTING 13,305 SF BUILDINGS 'B' & 'C' - OCCUPANCY E - CLASSROOMS & OFFICES EXISTING 'B' 2,688 SF EXISTING 'C' 2,688 SF TOTAL EXISTING 18,681 SF	
PARKING:	N/A - THERE ARE NO CHANGES TO THE OCCUPANT LOADS OR REQUIRED PARKING COUNTS	
LANDSCAPING:	THE ADJACENT, EXISTING LANDSCAPING WILL BE MAINTAINED THROUGHOUT CONSTRUCTION. ANY PLANT MATERIAL INADVERTENTLY DAMAGED DURING CONSTRUCTION WILL BE REPLACED WITH MATERIAL OF THE SAME KIND. THE EXISTING ROW AND PARKING LOT ARE BOTH FULLY LANDSCAPED AND SCREENED AS REQUIRED.	

VICINITY MAP



KEYNOTES

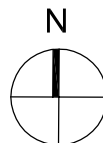
- EXISTING PARKING LOT LIGHT, TYP.
- EXISTING PARKING AREA, TYP. SPACE DIMENSIONS 10' x 20'
- EXISTING BLOCK FENCE
- EXISTING SCREEN WALL
- EXISTING TRASH ENCLOSURE
- NEW DRIVE ENTRANCE CONSTRUCTED PER GOODYEAR DETAIL G-3236 D-2 AND MAG DETAILS 250-1 & 2.
- EXISTING 24" ROLL CURB
- EXISTING RETENTION AREA
- DEMO ROLL CURB FOR NEW DRIVE ENTRANCE
- EXISTING HARDSCAPE
- NOT USED
- EXISTING ACCESSIBLE ROUTE
- EXISTING FIRE HYDRANT
- EXISTING FDC ON BACKFLOW PREVENTER
- EXISTING DRIVEWAY
- EXISTING DOMESTIC AND LANDSCAPE WATER METERS
- EXISTING MULTI-USE PATH
- NOT USED
- NOT USED
- NOT USED
- NOT USED
- EXISTING S.E.S.
- EXISTING TRANSFORMER
- EXISTING FIRE LANE & TURNING RADII PER CITY STANDARDS
- EXISTING STREET LIGHTS
- NOT USED
- SITE VISIBILITY TRIANGLE PER GOODYEAR DETAIL G-3232
- EXISTING MONUMENT SIGN
- EXISTING ACCESSIBLE PARKING SPACE, TYP. OF (6)



SITE PLAN

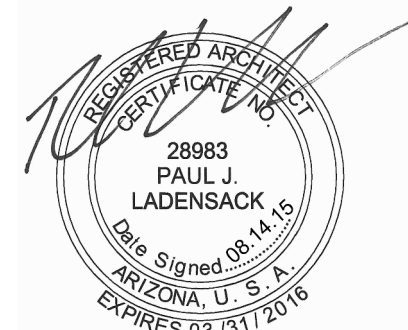
1" = 50'-0"

1



CCBG

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PHOENIX SAN DIEGO
102 E BUCHANAN PHOENIX, AZ 85004
P.602.258.2211 F.602.255.0909



COMPASS CHURCH
SANCTUARY BUILDING ADDITION
16060 W. VAN BUREN ST.
GOODYEAR, AZ 85338

ISSUE

DATE	REV	FOR
08.14.15		USE PERMIT
10.09.15		CITY COMMENTS

Drawn
MP
Checked
MP
Job Number
1416
Drawing

SITE PLAN - USE
PERMIT
NORTHWEST DRIVE
Sheet

UP1.1



N 161st Ave





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N 161st Ave



W Van Buren St







396.61'

30'

30'

N 161st Ave

33'

W VAN BUREN ST

W VAN BUREN ST

W VAN BUREN ST

W VAN BUREN ST

TRACT KK

N Wildflower Dr

N88°58'11"E 225.02'

N88°58'11"E 213.72'

WILDFLOWER
UNIT 6

500-88-155

500-88-147

18.30'

1.70'

2.40'

1.70'

ER RANCH
COMMERCIAL
REPLAT

N00°01'49"W 118.30'
N00°01'49"W 118.30'

OWER RANCH
COMMERCIAL
CT REPLAT

500-88-155

500-88-132

500-88-133

500-88-134

500-88-135

500-88-136

500-88-137

887

888

889

890

891

892

500-88-132

500-88-133

500-88-134

500-88-135

500-88-136

500-88-137