



ESTRELLA™

by
Newland COMMUNITIES

LUCERO PLANNED AREA DEVELOPMENT AMENDMENT

PARCELS 1,2,3,4,5,6,7,12, & 77



City of Goodyear, Arizona

June 19, 2013

Revised/Resubmitted: August 14, 2013

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** NOTE: Traffic study submitted under separate cover*



"We have met the desert,
loved it, lived with it, and
made it our own."

- Frank Lloyd Wright

1. Introduction

The Current State of Estrella

Newland Communities began an engagement with Estrella almost a decade ago and the company continues to help shape the future of one of the Valley's most successful master-planned communities. Headquartered in San Diego, California, Newland is currently developing communities across the country in 14 states and is recognized as one of the premiere master-planned community developers. Most recently in 2010, Builder and Developer Magazine named Newland Communities "Developer of the Year". During both good and bad economic times, Newland is committed long-term to building great places to live, work and play.

The Master Plan for Estrella encompasses 20,000 acres of land and is currently home to nearly 12,000 residents. To date, development has been organized around three villages, Mountain Ranch, Montecito and CantaMia. The careful organization of roadway systems, opens space, 72 surface acres of lakes, community amenities, civic facilities and mixed-use development have resulted in a truly unique living environment within the Sonoran Desert.

"We love creating incredible places to live."

- Newland Communities Vision Statement



**PROPOSED AREA
PAD AMENDMENT**

COTTON LANE

S. ESTRELLA PARKWAY

**MOUNTAIN
RANCH
MARKETPLACE**

**MOUNTAIN
RANCH**

**ESTRELLA
FOOTHILLS
HIGH SCHOOL**

MONTECITO

S. ESTRELLA PARKWAY

CANTAMIA

Aerial view showing the scale of development to date at Estrella

Orientation

The specific land area associated with the Planned Area Development (PAD) zoning amendment request has been highlighted on the adjacent Vicinity Map. This approximately 617-acre parcel is situated along the northern boundary of the Estrella property and is directly adjacent and north of Estrella Parkway, and east of Cotton Lane. The northern and western boundaries face the previously planned King Ranch project and the southwestern edge of the parcel is in proximity to the recently completed Banner Health Center and Mountain Ranch Marketplace. Estrella Parkway also serves The Summit, and The Trails, custom home neighborhoods directly east of the subject parcel.

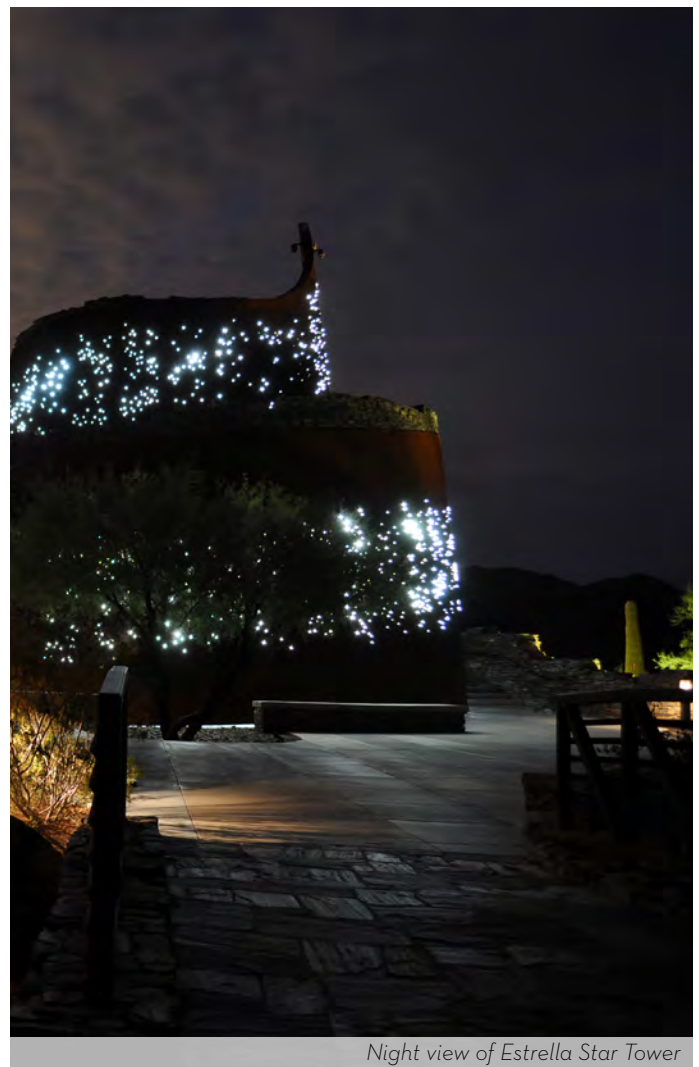
Newland Communities understands the importance of this specific parcel in relation to its proximity as part of the gateway experience into the community of Estrella. It also recognizes that this land is unlike any other within the community. The rolling hills and undulating landform provides an opportunity to position future development in a manner that embraces the natural topography and native open space, while maintaining many of the views that exist today as you enter the property.

The Purpose of the Request

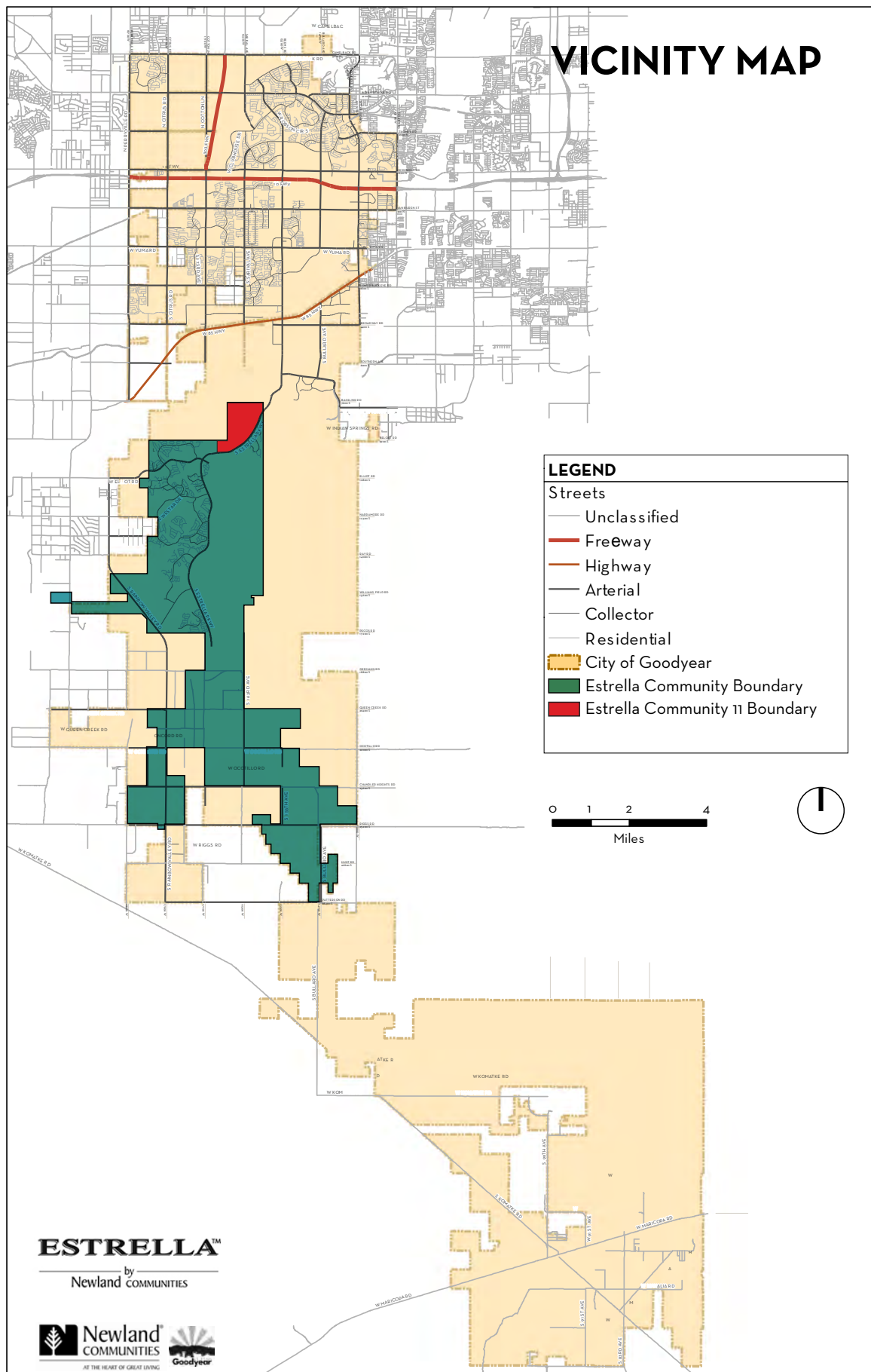
The planning and development process for the community will continue to evolve over the coming decades as more development comes on-line and opportunities arise to enhance the vision and direction of the project. This pro-active, long-term commitment from Newland ensures the vitality of Estrella for years to come. Estrella remains one of the premiere master-planned communities in the Valley and the current economic momentum will provide an opportunity to foster continued strategic growth. This specific request provides one of those opportunities to help shape the community to best suite the land as well as provide users with the kinds of homes and amenities anticipated in the coming years. Specifically, this request is to amend approximately 287 acres of the overall approximately 617 acre parcel. The Phase One Planned Area Development (PAD) previously approved as No. Z-4-86 and Ordinance 87-217 on 11/24/86 consisted of 3,385 acres. This amendment request is to refine the land use plan and table, add to the development standards (lot sizes), and introduce a commercial use zoning for a future Welcome Center.



A commitment to healthy living and maintaining great open space



Night view of Estrella Star Tower



2. The Site

General Context

The aerial context map on the following page provides a visual reference to the location of Lucero, along with the key features and conditions.

The site has an irregular shape based on property ownership as well as the curvilinear alignment of Estrella Parkway. The existing utility easement and power lines associated with SRP, APS and TEP bisect the 617 acres. The topographic landforms and wash corridors provide the basis for considering a sensitive development framework that looks to locate built components in a thoughtful manner. The existing community entry monumentation, including the iconic Star Tower, is located near the north east corner of the proposed development.

Existing Site Character

The parcel has several significant landforms spread out over the extent of the area. Near the middle of the parcel, there is a high point just west of the power line easement that has an elevation of 1,270 feet. This highpoint is part of a ridgeline formation that extends from the northwest corner of the parcel and traverses across towards the Estrella Parkway. Photograph 2 provides a view of this ridgeline looking westerly from the Star Tower parking lot. North of this ridgeline, the topography can be described as somewhat rugged, but relatively flat. The irregular landform and slopes are bisected by several minor wash corridors as can be seen from the photographs 3 & 4. South of the ridgeline, the topography becomes gently sloping and close to flat as it meets the Parkway. The difference in elevation from the highest point on the parcel to the lowest is approximately 320 feet. The low point of the property is in the northeast corner at an elevation of 950 feet.



1

Entry sign and Star Tower



2

View looking west from Star Tower parking lot



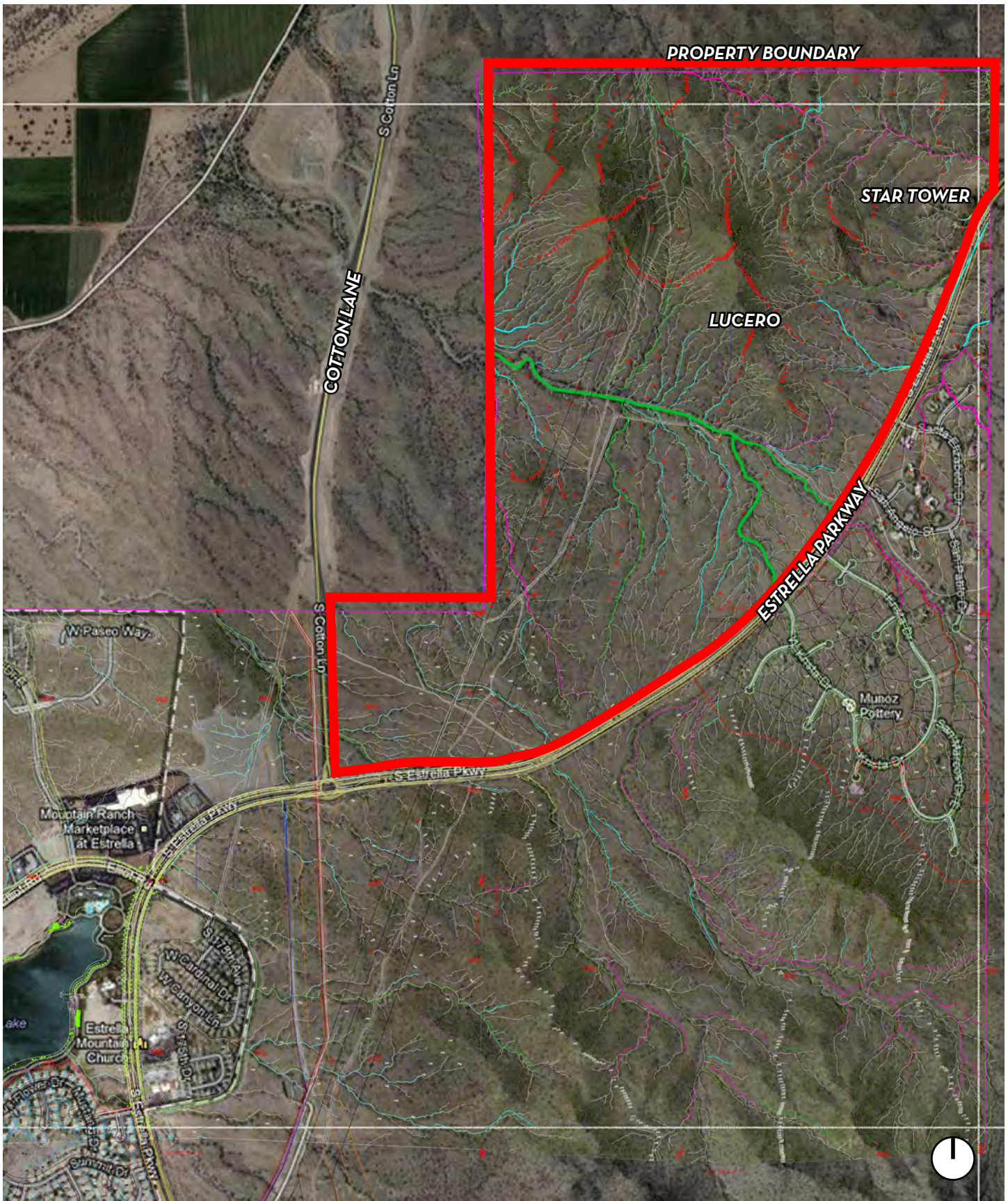
3

View looking south of ridgeline



4

View looking north of ridgeline



CONTEXT MAP

Specific Features and Conditions

As stated previously, this land represents the visual gateway to the community of Estrella. Much care and consideration has gone into refining the development strategy in order to maintain a strong sense of arrival for the entire community. Protection of open space, careful location of neighborhood clusters and the creative organization of vehicular circulation all play into the strategic orchestration of a highly sensitive land planning and design solution. The top photograph shows the existing character and quality of Estrella Parkway near the northern edge of the parcel. Part of this sensitivity includes the planning and design integration of major washes that cross through the site. These wash corridors, like the one pictured to the right below, provide added character to the quality of the environment as well as assist with technical engineering issues associated with drainage.

In addition, a natural landscape buffer will be maintained between Estrella Parkway and the new development. Perimeter screen walls and view fences will be incorporated with sensitive design solutions. No straight, continuous runs of perimeter wall treatment will be allowed. The landscape buffer will be approximately eighty-feet (80') wide in most cases. In a few instances it may be smaller (approximately 40').



Major wash corridor at Estrella Parkway



Wash corridor



Watershed



3. Best Use of the Land

Key Considerations

It is very clear that this site, being the entry to the community, is an integral piece in the overall community fabric of Estrella. Its location, orientation and visual exposure requires great care and sensitivity as to its development potential. The current entry arrival into Estrella is characterized by the beautiful scenic desert views along Estrella Parkway, looking westerly into the subject parcel. This positive experience is reinforced by the curving parkway and associated planting in the medians as well as the landscape character along the roadway borders. It will be important to carefully develop these adjoining lands in a manner that doesn't detract from the visual character and quality that exists along the Parkway.

A typical subdivision would not only have a negative impact on the positive attributes of the parcel, but would take away from the overall character and quality of the entire Estrella community. For this reason, much care and sensitivity has gone into the requested PAD amendment and Newland's strong desire to make this particular development a showpiece for the entire community.

The 'Orchestrated Neighborhood vs. Typical Subdivision' illustration on the following page provides a planning and design direction that will embrace sensitive, thoughtful development within the proposed amendment area. Rather than typical subdivision layout, this development will foster a series of orchestrated neighborhoods that include key components to enhance a healthy and vibrant community lifestyle.

These key components are identified and referenced in the legend shown on the following page.

- **Entry Monumentation:** Thoughtful signage that provides an identity to a community's character as well as the identity and character of each neighborhood.
- **Neighborhood I.D:** Complimentary signage that reinforces the identity of neighborhoods.

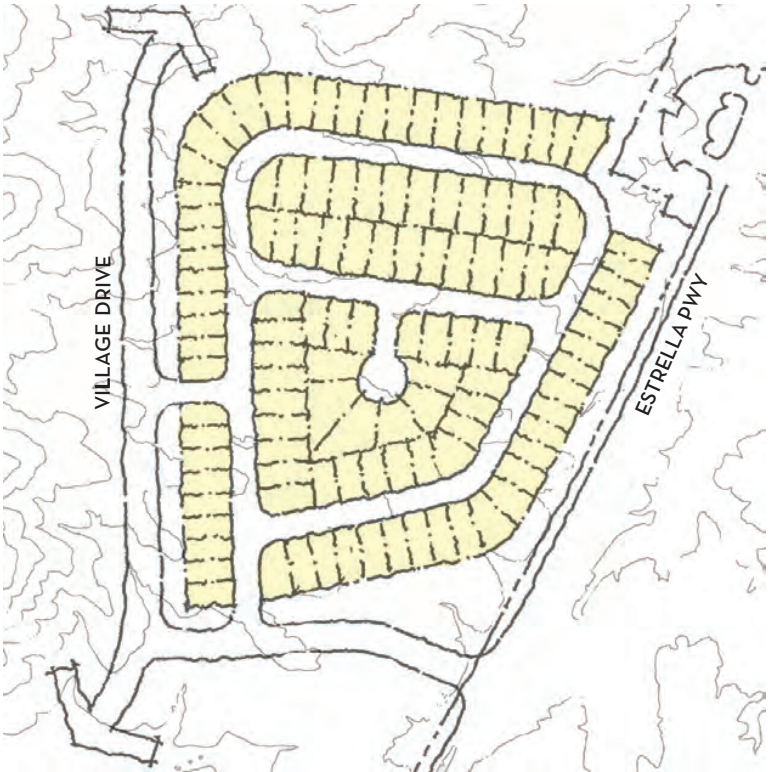


- **Village Drive:** Road design that responds to the natural terrain with curves rather than over engineered straight lines.
- **Landscape Buffer:** Landscape treatment between lots and collector roads adds to the overall visual quality and character.
- **Neighborhood Green:** Small, passive open space features fronting homes within a neighborhood provides the opportunity for added character.
- **Street Alignment:** Shorter length streets and horizontal alignment with slight curvature provides better visual interest.
- **Desert Treatment:** Rather than always having residential lots back-to-back within an interior neighborhood block, desert treatment of landscape and earth berms provides an attractive buffer from homes backing up to each other.
- **Signature Streets:** Careful consideration of architecture treatment at locations within a neighborhood with high visibility- near entrances, open space, etc.
- **Product/ Lot Diversity:** Inclusion of more diversity in architectural products and character provides more unique character.



- LEGEND**
- ① Entry Monuments
 - ② Neighborhood I.D.
 - ③ Village Drive
 - ④ Landscape Buffer
 - ⑤ Neighborhood Green
 - ⑥ Street Alignment
 - ⑦ Desert Treatment
 - ⑧ Signature Streets
 - ⑨ Product / Lot Diversity

ORCHESTRATED NEIGHBORHOOD



TYPICAL SUBDIVISION LAYOUT

ORCHESTRATED NEIGHBORHOOD vs. TYPICAL SUBDIVISION

Vision for the Development

Newland understands the special nature of this land and aspires to make this development a showpiece for the entire community. Because this parcel location represents the entrance to all of Estrella, it is imperative to take great care in being sensitive to the natural landforms, washes and landscape. Unlike most typical subdivisions that look to maximize development pads and units, the proposed strategy is to have a light touch on the land and emphasize the beautiful setting and abundance of nature.

Development Opportunities and Constraints

The planning and development methodology has been based on an extensive analysis of the land and the careful identification of opportunities and constraints. The accompanying Development Opportunities and Constraints Map illustrates the range of features and elements that have been studied and considered relative to development. The outcome has resulted in the identification of a substantial area of land to remain as open space complemented by a series of planned neighborhood clusters to be connected by an interior village drive.



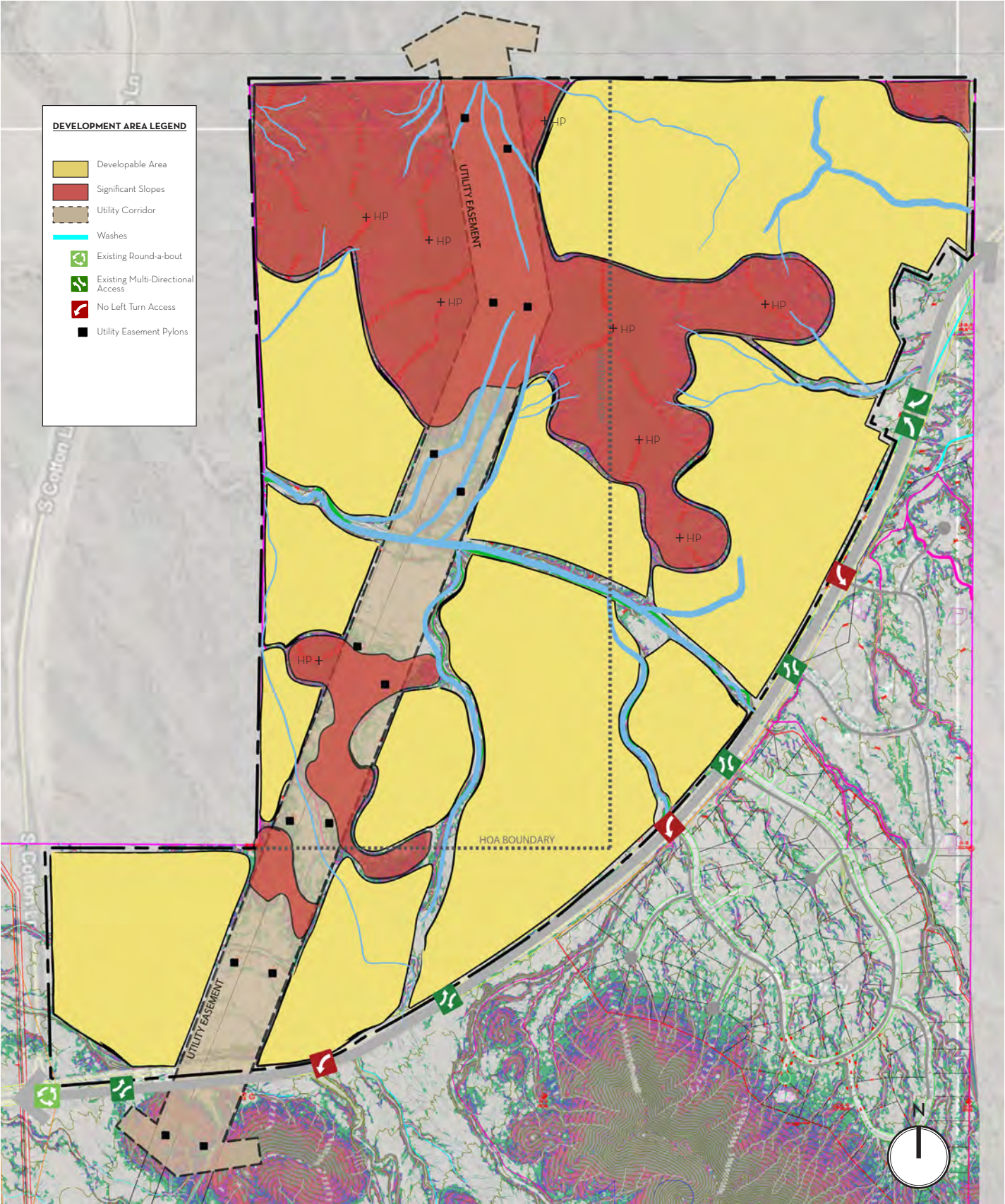
Opportunities for great indoor / outdoor spaces



Roadways designed to have a light touch on the land



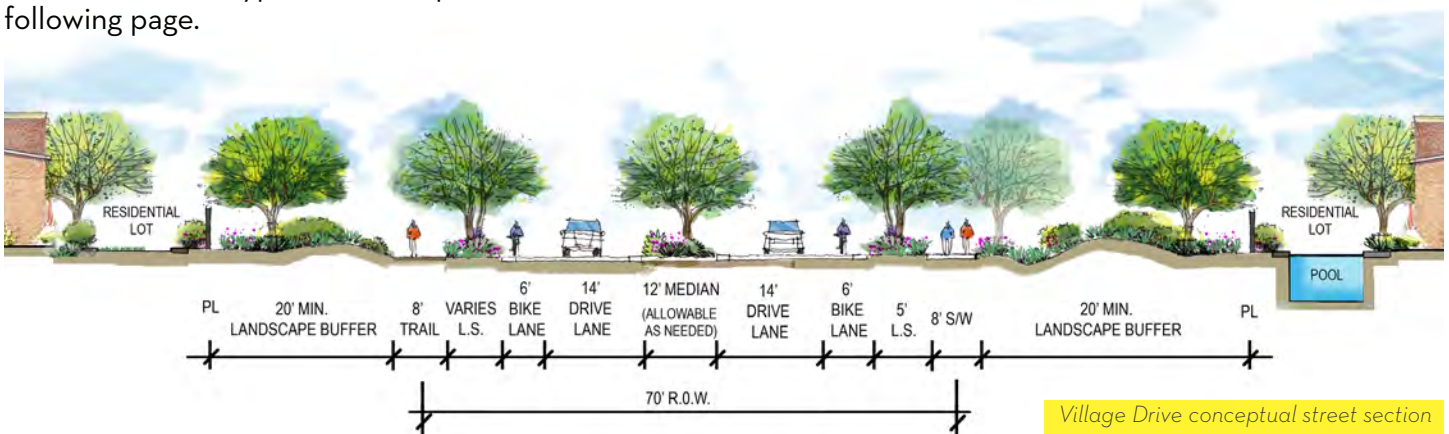
Site features integrate into the natural character of the land

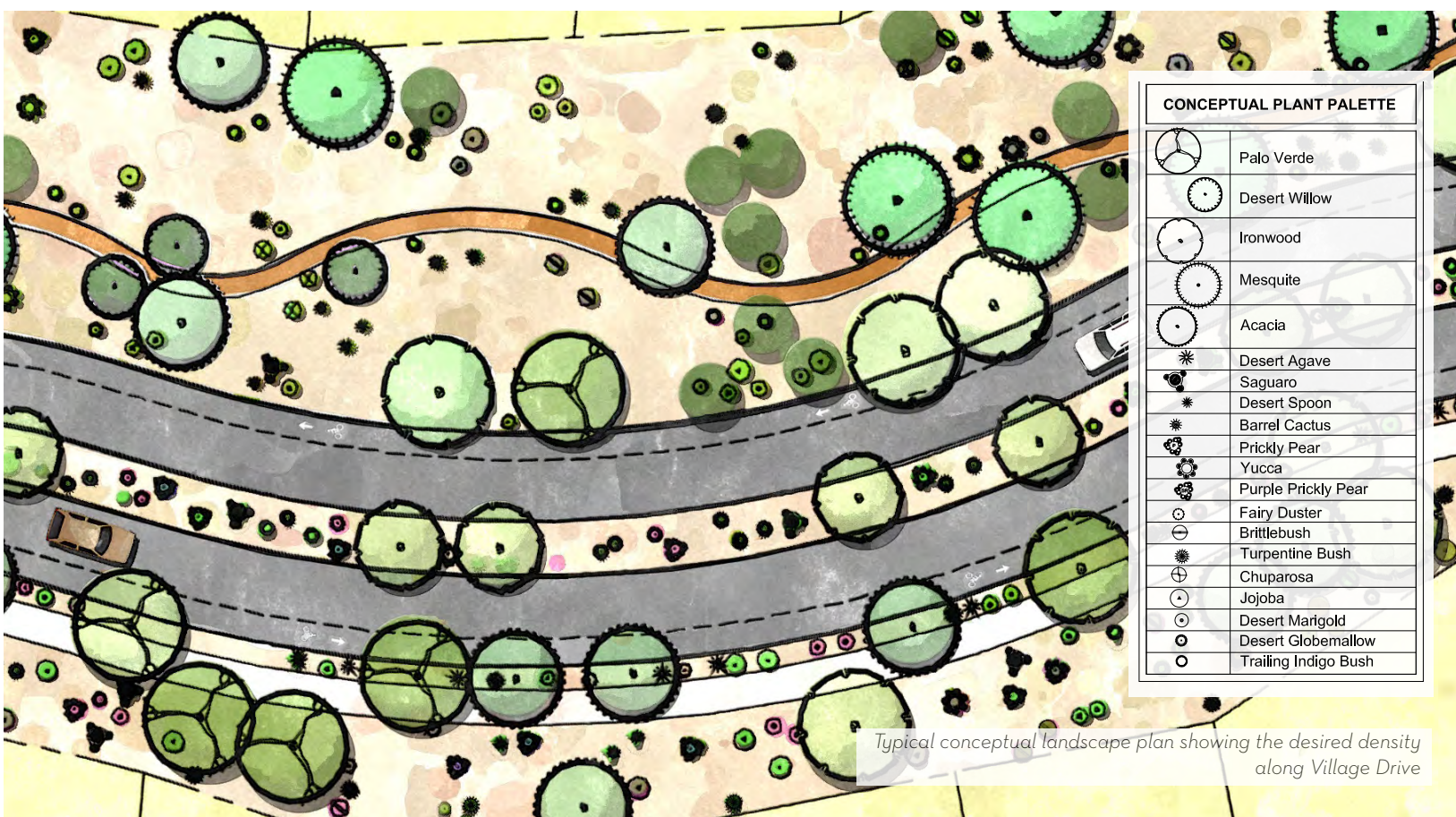


DEVELOPMENT OPPORTUNITIES & CONSTRAINTS

Village Drive

A major component of the clustered neighborhoods strategy is the careful routing of the proposed interior main roadway system. “Village Drive” has been designed to flow along the landforms in a more natural manner and provide safe, functional and convenient access to all the neighborhoods while both capturing scenic views and minimizing its visual impact from surrounding development. This strategy limits access and egress to Estrella Parkway, helping to maintain the existing visual character and quality of the driving experience. This drive will have significant plantings of native trees and shrubs along the Village Drive Trail that will provide a major pedestrian link across the property. The green line highlighted on the accompanying graphics shows the conceptual route of the proposed collector road. The section below portrays the intended rural and landscape character of the drive. See Typical Landscape Treatment on the following page.





TYPICAL LANDSCAPE TREATMENT ALONG VILLAGE DRIVE



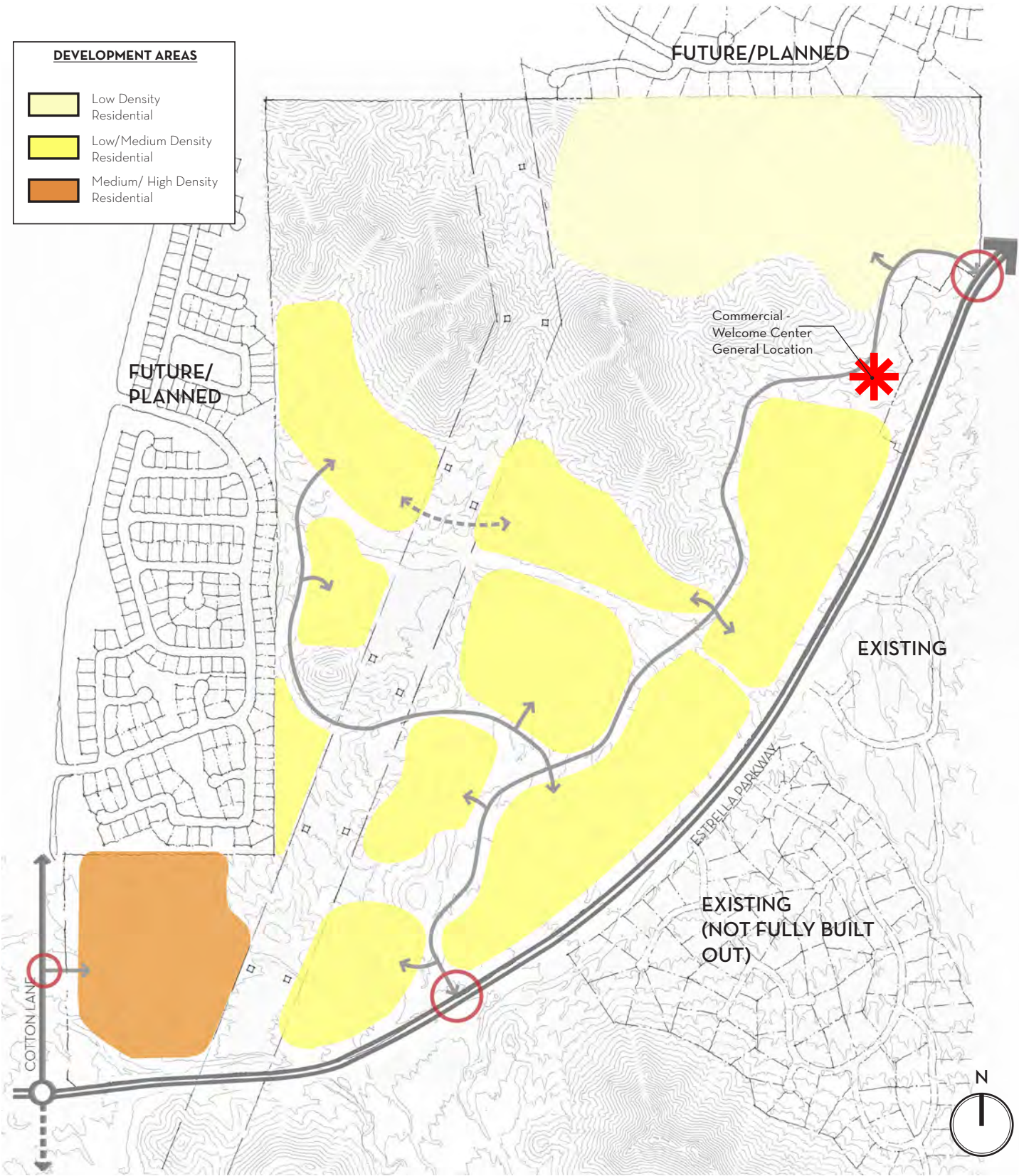
Moving Forward - Cluster Development Strategy

This commitment to a clustered development strategy requires much more sensitivity to natural landforms and the careful placement and orientation of several development pods. Rather than a more typical or traditional scenario of large graded pads for hundreds of homes, this development strategy calls for several clusters of smaller neighborhoods that have been carefully integrated to the attributes of the land. The sketch below shows a perspective view of the existing landform overlaid with the small neighborhood clusters. This illustration provides a clear visual reference to the sensitive nature of the planned development.

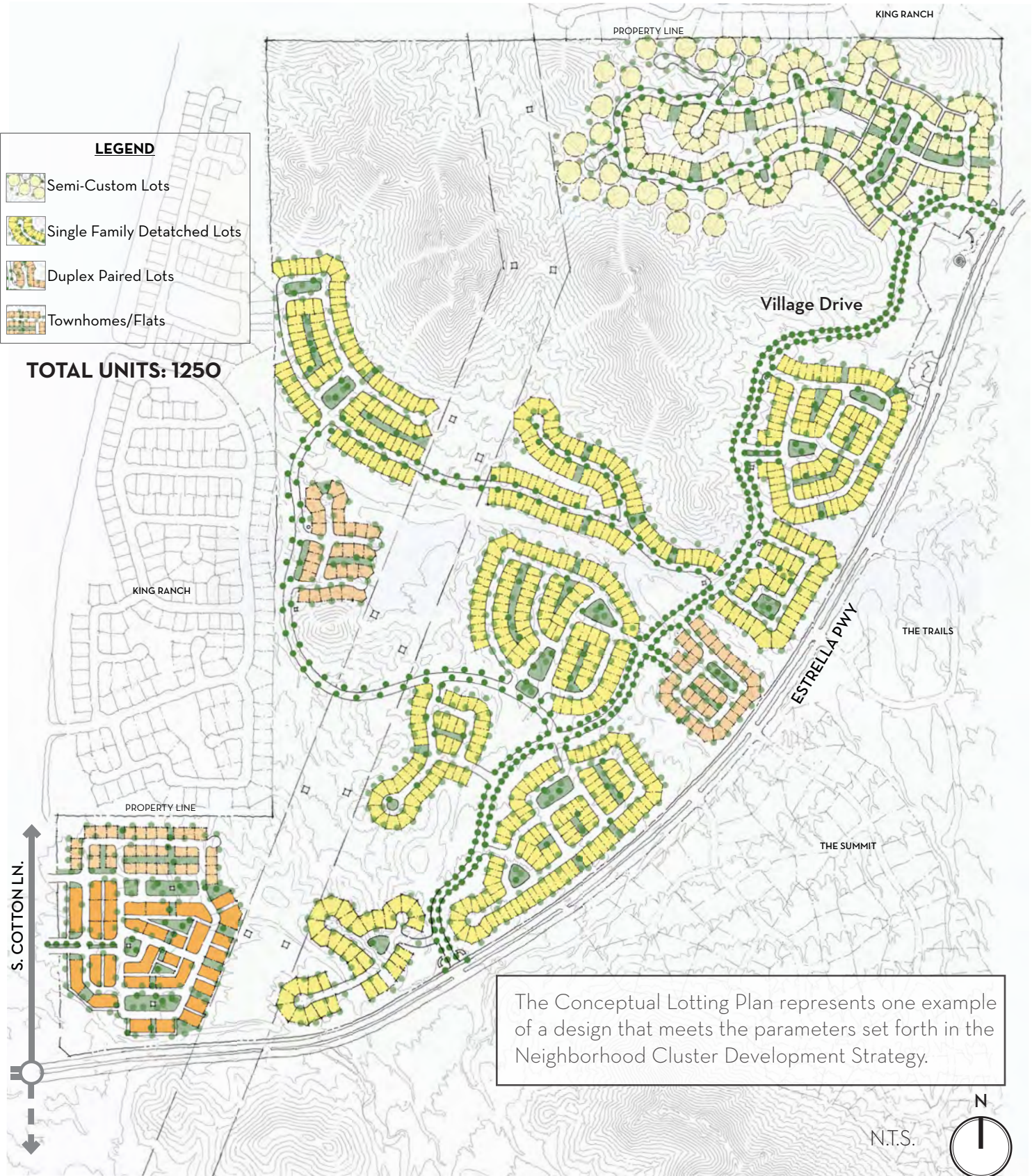
The kinds of homes, density and type of housing products have also been organized within the context of the landform in order to limit negative impacts to the land. The lowest density housing will be located towards the northeast end of the property. The highest planned housing density will be located near the southwest end of the property. The center of the parcel will be planned for medium density housing. The range of products associated with these densities will include single-family detached, single-family attached, duplexes, triplexes, townhomes and other attached residential products. The plan on the following page shows the strategy for neighborhood cluster development, followed by a conceptual lotting plan on page 20.



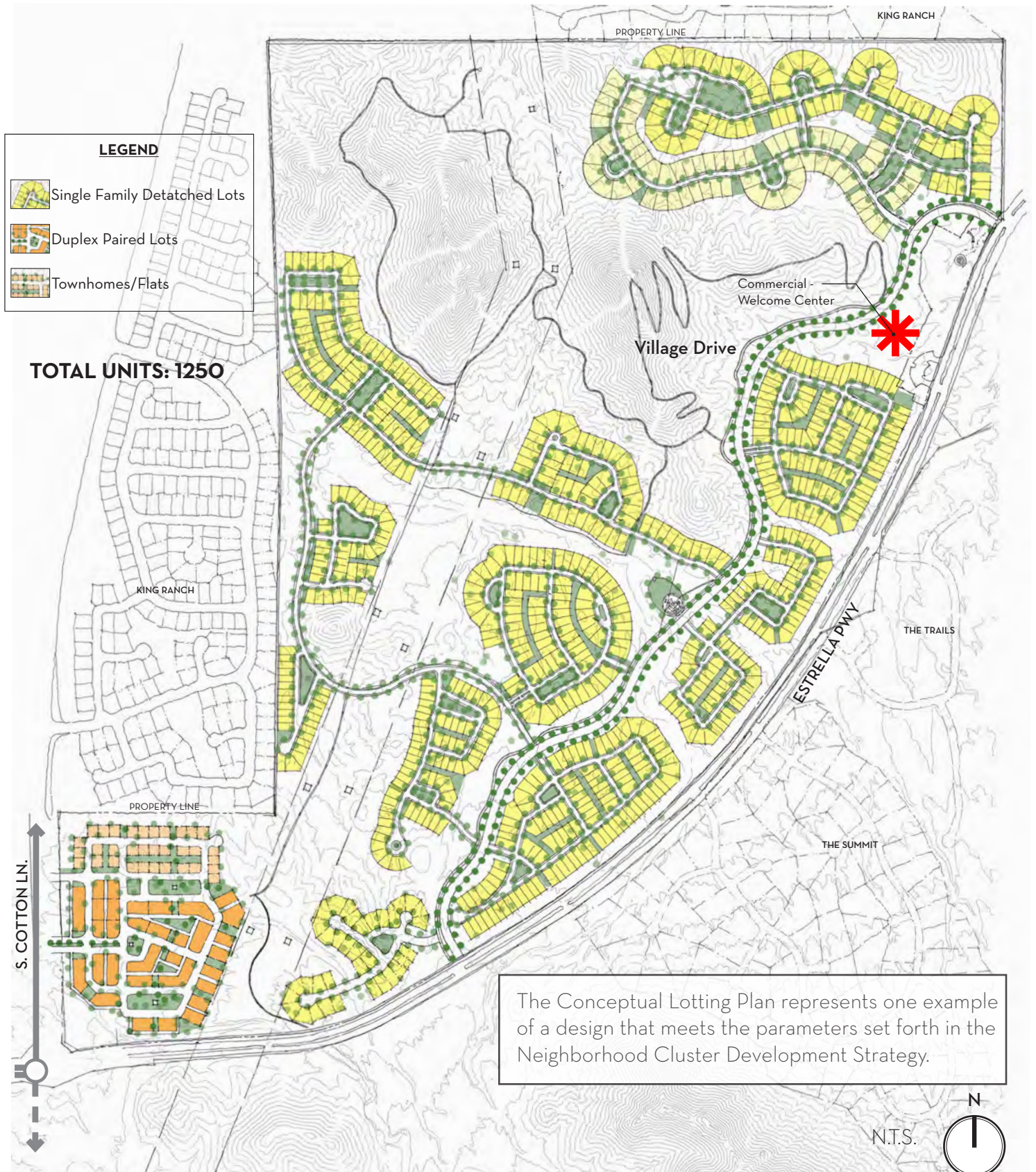
Conceptual perspective rendering illustrating the careful clustering of neighborhood pods onto the overall landform



NEIGHBORHOOD CLUSTER DEVELOPMENT



CONCEPTUAL LOTTING STRATEGY FROM APPROVED PAD AMENDEMENT (2013)



ADDITIONAL CONCEPTUAL LOTTING STRATEGY (2016)



4. Consistency with the General Plan

(Based on the City's previous General Plan and aligns with the newly voter approved 2014 Goodyear General Plan)

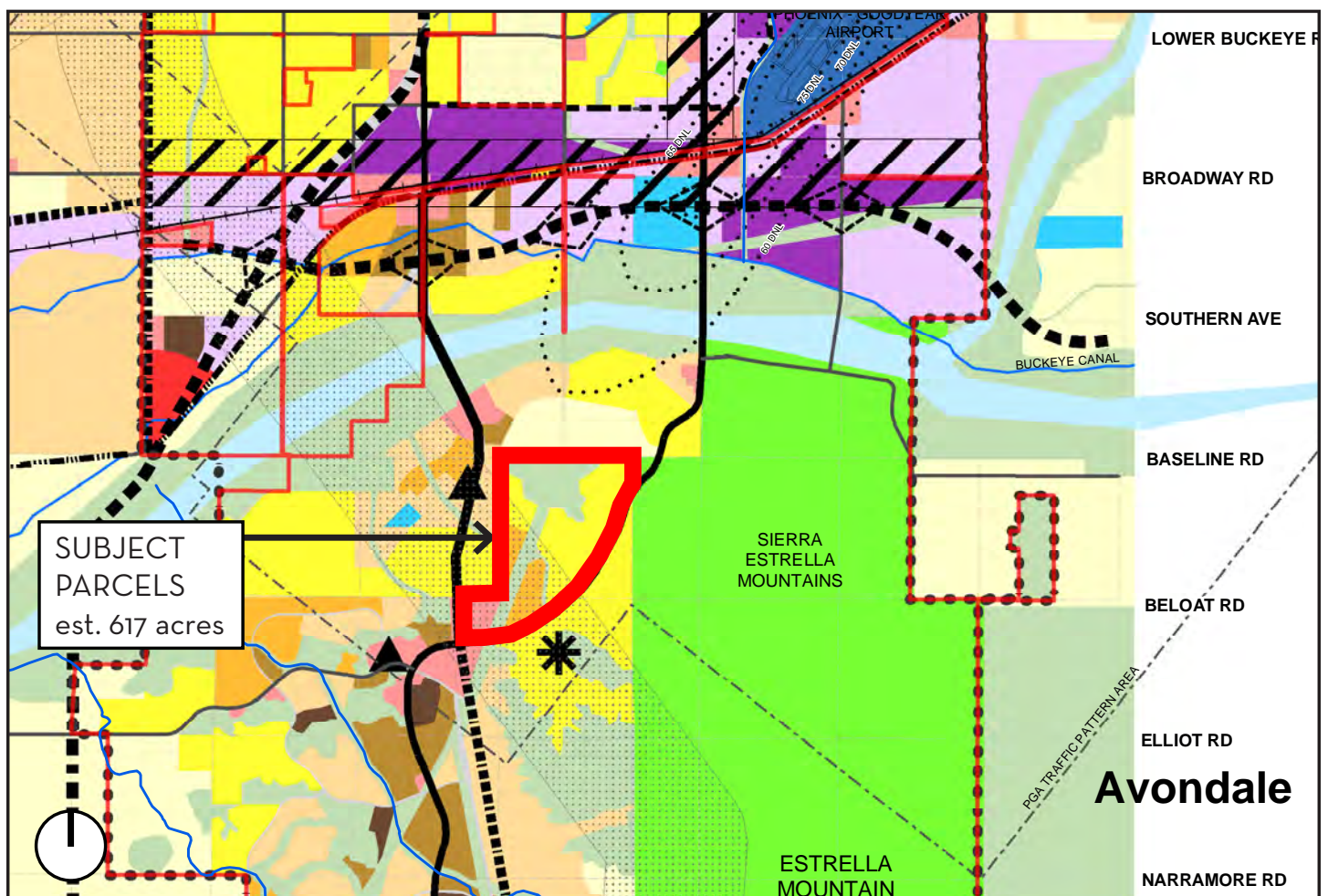
Role of the General Plan and Relationship to Estrella

The General Plan is a tool to help guide growth and development decisions throughout the entire City boundaries. Newland Communities has long been committed to the process of master planning and commends the quality and depth of the City's General Plan. The proposed PAD amendment and intended development fits right in-line with the goals, objectives and policies set forth in the General Plan. The focus for Goodyear and Newland Communities is to direct growth in a manner that elevates the overall quality of life for all citizens.

MAP LEGEND

Agricultural Preserve (AP) (1.0 DU/AC)	Freeway (Existing)
Rural Residential (RR) (0 - 2.0 DU/AC)	Freeway (Planned)
Low Density Residential (LDR) (2.0 - 4.0 DU/AC)	Freeway with Frontage Road (Planned)
Low-Medium Density Residential (L-MDR) (4.0 - 6.0 DU/AC)	Parkway (Existing)
Medium Density Residential (MDR) (6.0 - 10.0 DU/AC)	Parkway (Planned)
Medium-High Density Residential (M-HDR) (10.0 - 20.0 DU/AC)	Scenic Arterial (Existing)
High Density Residential (HDR) (20.0 + DU/AC)	Scenic Arterial (Planned)
Community Commercial (CC)	City Center Arterial
Regional Commercial (RC)	Major Arterial/Road of Regional Significance
Light Industrial (LI)	Major Arterial (Existing)
General Industrial (GI)	Major Arterial (Planned)
Mixed Use (MU) (25% Res., 75% Comm.)	Arterial Roads
Luke Compatible Land Use Area (LCLUA)	City Incorporated Area
Public/Quasi-Public (PQP)	Planning Area
Prison (PR)	Canals/Washes
Airport (A)	Regional Park
Open Space (OS) (1.0 DU/AC)	Luke AFB Range Access Routes
High Intensity Mixed Use Corridor Overlay	Aviation Noise Contours (DNL)
City Center (CCTR) Specific Area Plan Adopted 9/25/06 Ord. No. 06-1026	Parcel Boundary
Village Center Overlay	Sonoran Desert National Monument
Resort Development Overlay	Wilderness Area

GENERAL PLAN MAP (portion)



Proposed Request Alignment with the General Plan

Specific examples of how the proposed PAD amendment aligns with the General Plan includes the following (organized per the identified Elements of the General Plan):

Land Use Element

Goal A: “A unique blend of residential and employment uses.”

Objective A-1: “Provide a mix of housing types and densities for all residents.”

Policy A- 1a: “The City shall partner with the development community to provide a wide variety of housing products to suit the needs of existing and future residents.”

The proposed amendment is anticipated to provide a broader spectrum of housing products and densities based on the anticipated needs and desires of future residents.



Goal B: "A Compatible Mix of Housing and Jobs."

Objective B-1: "Integrate residential, employment and supportive uses."

Policy B-1a: "...attempt to locate higher density residential and higher intensity employment uses adjacent to high capacity roadways...buffer/protect lower density/intensity uses."

Objective B-2: "Successfully buffer residential and employment uses."

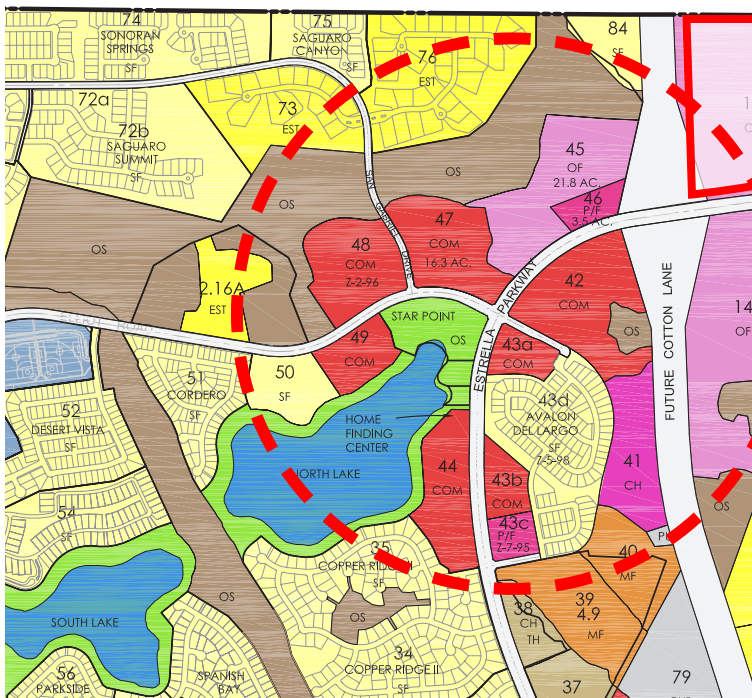
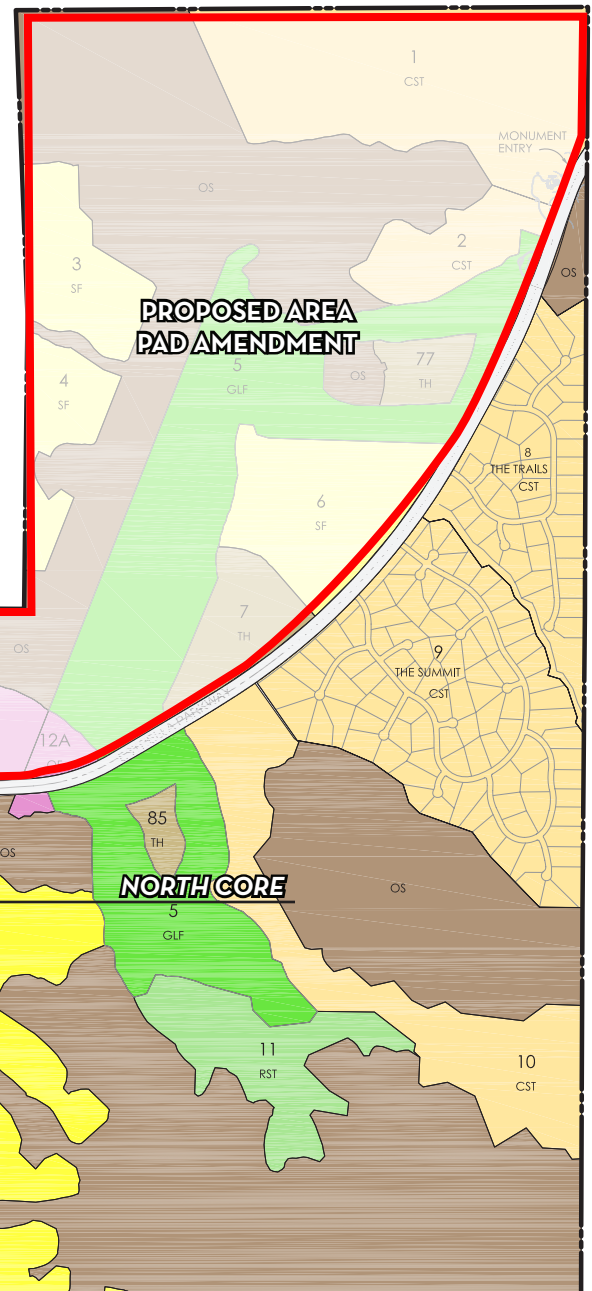
Policy B- 2a: "...utilize landscaping, roadways, open space, compatible land uses between incompatible residential and employment uses."



Mountain Ranch Marketplace

- 120,000 sq ft built
- 50,000 sq ft planned
- LEED certified

The proposed amendment better balances the range of uses planned throughout this area of the Estrella Community and specifically buffers residential uses in this parcel from commercial development. 120,000 square feet of commercial development currently serves this area of the community with another 50,000 square feet planned in the future.

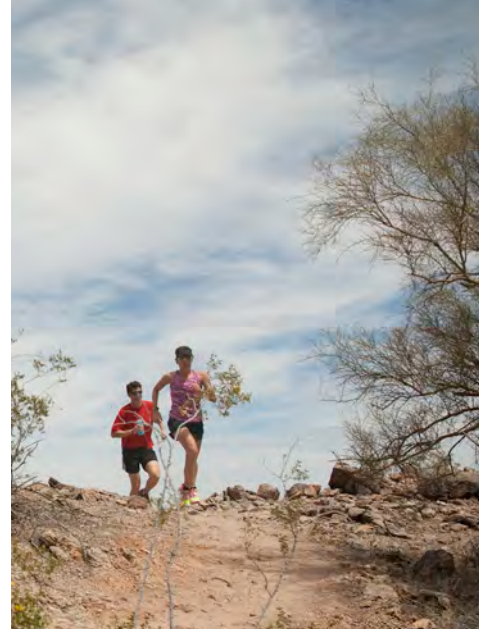


Goal E: “Promote a High Quality of Life”

Objective E-1: “Strive to enhance the environmental, economic, and recreational characteristics of a satisfying and safe lifestyle.”

Policy E- 1c: “...explore the use of effective strategies to enhance the provisions of open space.”

The proposed amendment enhances the provisions of open space in several ways including; expanded native desert areas, greater accessibility to open space through an interconnected trail system and special park features in close proximity to neighborhoods.



Circulation Element

Goal A: “A well functioning roadway network that effectively and efficiently serves the City’s residents...”

Objective A-1: “Continue to utilize a functional roadway classification system to provide mobility and access throughout the entire community.”

The proposed amendment and associated development strategy includes a creative solution for roadway circulation that limits impacts to Estrella Parkway. The proposed Village Drive provides an internal collector road that includes only a north and south entrance from Estrella Parkway. This strategy helps to ensure the current experience on the Parkway.

Goal D: “A non-motorized network that links neighborhoods with community activity centers.”

The proposed amendment provides the framework for a carefully orchestrated path and trails system that will link the specific parcel neighborhoods as well as non-motorized connectivity to the entire surrounding areas.



Open Space Element

Goal C: “A regionally connected, locally accessible open space system.”

The proposed amendment includes an interconnected path and trail system that provides both internal pedestrian access and linkage to the entire Estrella Community as well as the regional open space system. The previously planned golf course layout was a potential barrier to the continuous linkage of native open space and associated trail system. The golf component would have prevented the trail system from connecting the North and South portions of the property. In addition, the existing underpass at Estrella Parkway will be utilized as part of the overall trails network.



Water Resources Element

Goal C: “A community dedicated to water conservation.”

Newland is committed to promoting water conservation throughout the Estrella Community. For this particular parcel, the refined strategy of more open space and less irrigated golf course aligns with this water conservation strategy. An additional golf course would make Estrella more dependent on the use of an increasingly strained and already limited natural resource of ground water.



Housing Element

Goal A: “A stock of superior designed and well-constructed new neighborhoods.”

Objective A-1: “Continue to foster high quality, attractive neighborhoods.”

Policy A-1c: “The City shall strongly encourage the use of regionally appropriate and diverse architecture and landscape treatments appropriate to the Sonoran desert.”

Policy A-1d: “The City shall continue to strive for neighborhood, community and regional connectivity of its park and open space network.”

The planned neighborhood cluster development strategy provides the opportunity to integrate creative architecture and landscape architecture solutions within the context of the open space setting and planned paths and trails network.



Objective A-2: “Provide a diverse stock of housing products.”

Policy A-2a: “The City shall encourage a mix of housing types...”

Policy A-2b: “The City shall evaluate a variety of tools (i.e., density bonuses, clustering, reduced lot sizes, flexible development standards) for proposals that assist in increasing the variety of housing products.”

The planned amendment proposes a diverse range of housing stock that will likely include: single-family detached, single-family attached, triplex units and townhomes.



Goal: “A community of connected new and mature neighborhoods.”

Objective C-1: “Ensure that roadways, sidewalks, and trail systems are connected throughout residential parcels and are convenient to public facilities and community uses.”

Policy C-1: “The City shall continue to review development plans to assure their linkage with existing developments, roadways and trails systems.

The proposed amendment insures a robust system of paths and trails to provide linkage between the planned neighborhoods as well as connections to the overall community. See the proposed trails network on the following page

Objective C-2: “Utilize streetscapes as unifying elements among existing and new neighborhoods.”

Policy C-2a: “The City shall establish street tree theming on its parkways, major, and arterial roadways to establish gateways and connect residential neighborhoods.”

The planned amendment proposes a significant investment and commitment to landscape theming and street tree planting. The proposed Village Drive is planned as a meandering tree-lined street that follows the natural character of the landform.



Environmental Planning Element

Goal A: "A community responsive to the Sonoran Desert."

Objective A-4: "Minimize the visual impact of development on significant natural features and native vegetation."

Policy A-4a: "...standards to minimize development impacts on steep sloped sites"

The planned amendment is organized around a clustered development approach that protects significant areas of open space and native vegetation.

Community Character Element

Goal A: "A sense of place that provides lifestyle setting choices and amenities..."

Objective A-1: "...an attractive and safe community in which to live, work, play, visit and invest."

The planned amendment complements the overall Estrella community and will provide a special living environment with a unique sense of place.



NEWLAND'S CONTINUED COMMITMENT

These series of references clearly show how the planned amendment embraces the goals, objectives and policies of the General Plan.

Newland Communities applauds the City for its efforts in establishing a long-term vision for the entire City. We are committed to our partnership with the City and community as Estrella continues to develop over the coming years.

5. PAD Zoning Amendment Request

The Request

This is a request to amend Estrella's Phase One Planned Area Development (PAD) approved as Z-4-86 and Ordinance 87-217 on June 2, 1987 and again amended in 1988. The PAD was amended by case 08-200-00009 and COAC 09-4063 on January 9, 2009 to allow horizontal mixed-use on three parcels at the Estrella Parkway and Cotton Lane intersection as part of the proposed amendment. Additional amendments are identified in the Entitlement History narrative.

This request is to amend the following:

Refinement of Land use

1. Removal of golf course
2. Create more contiguous usable open space
3. Reconfiguration of residential uses
4. Remove Commercial / Office

New Request as of February 03, 2016

5. Additional development standards (Lot Sizes)
6. Refinement of lot characteristics
7. Refinement of Land Use Plan and Table
8. Introduction of Welcome Center location and use (to be zoned as commercial neighborhood)
9. Expanded guideline information relative to limiting garage dominant streetscene

** Note: In addition to those parcels identified in Lucero, a portion of Parcel 12, as identified, has been included in the PAD Amendment request. The table on the following pages provides total acreage, density and unit counts in a separate manner to provide a clear understanding of any and all refinements.*

Refinement of Density

10. Change Rural Residential (RR) to Low Density Residential (LDR)
11. Change Medium High Density Residential (MHDR) to Low Medium Density Residential (LMDR)
12. Change Mixed-Use Office to Medium High Density Residential

Unit Count

13. Per approved PAD Amendment (2013), the maximum number of dwelling units permitted at Lucero will not exceed 1,250.

Notes

1. Total Overall Amendment Acreage Change - 287 Acres
2. Unit counts may be distributed across the site as long as total does not exceed 1250 units.

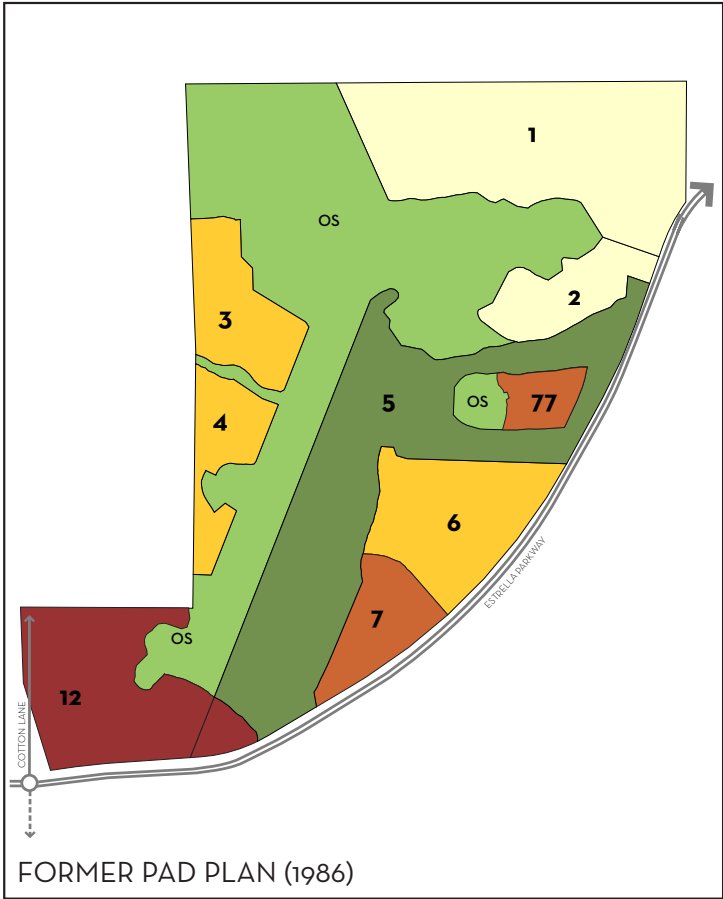
PAD Entitlement History

Over the past 27 years, the community of Estrella, and the associated development entity, has followed the City of Goodyear's procedures and requirements for entitling lands associated with planned construction. The initial entitlement efforts began with the Preliminary Planned Area Development (PAD) approved by the City on September 22nd, 1986. This zoning Case, No. Z-4-86, encompassed a change of 8,890 acres of agricultural-urban land to the PAD designation. Over the years, as lands were added and refinements made to the development strategy, a number of amendments have been submitted in order to refine the entitlements and associated zoning. Over the years, several amendments were submitted and approved relative to the development of the community. A brief listing includes:

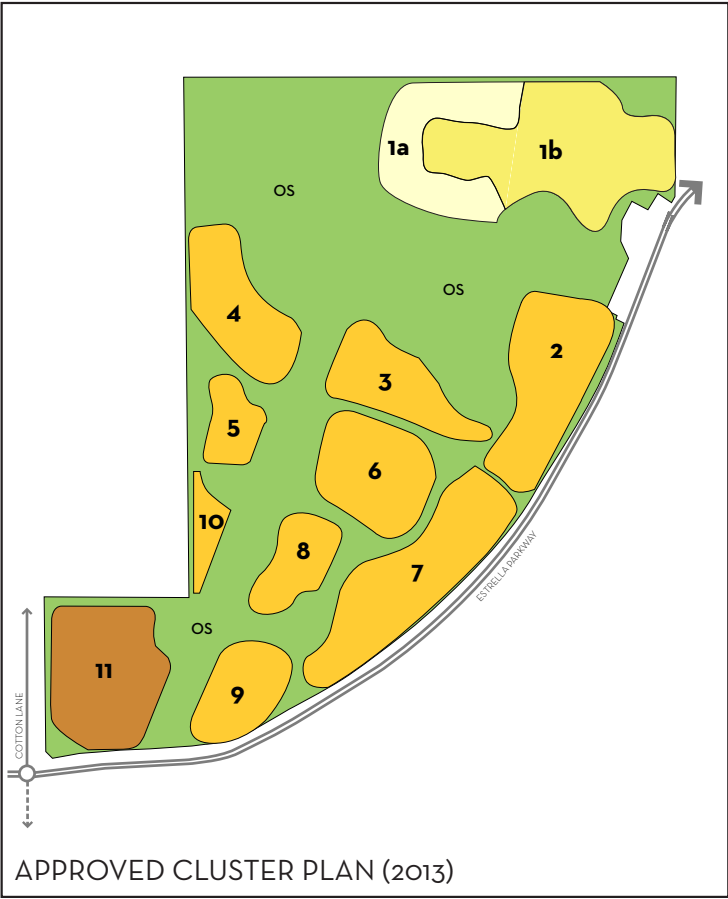
- Estrella Preliminary PAD / 1986
- Phase 1 PAD / 1986
- Phase 1 Wash Boundary PAD / 1987
- Phase 1 BLM PAD / 1988
- EMR North Community Core / 2009
- EMR / 2010
- Phase 1 PAD Amendment / 2013

The Phase 1 area encompassed 3,385 acres of land area and was evaluated as Case No. Z-4-86.

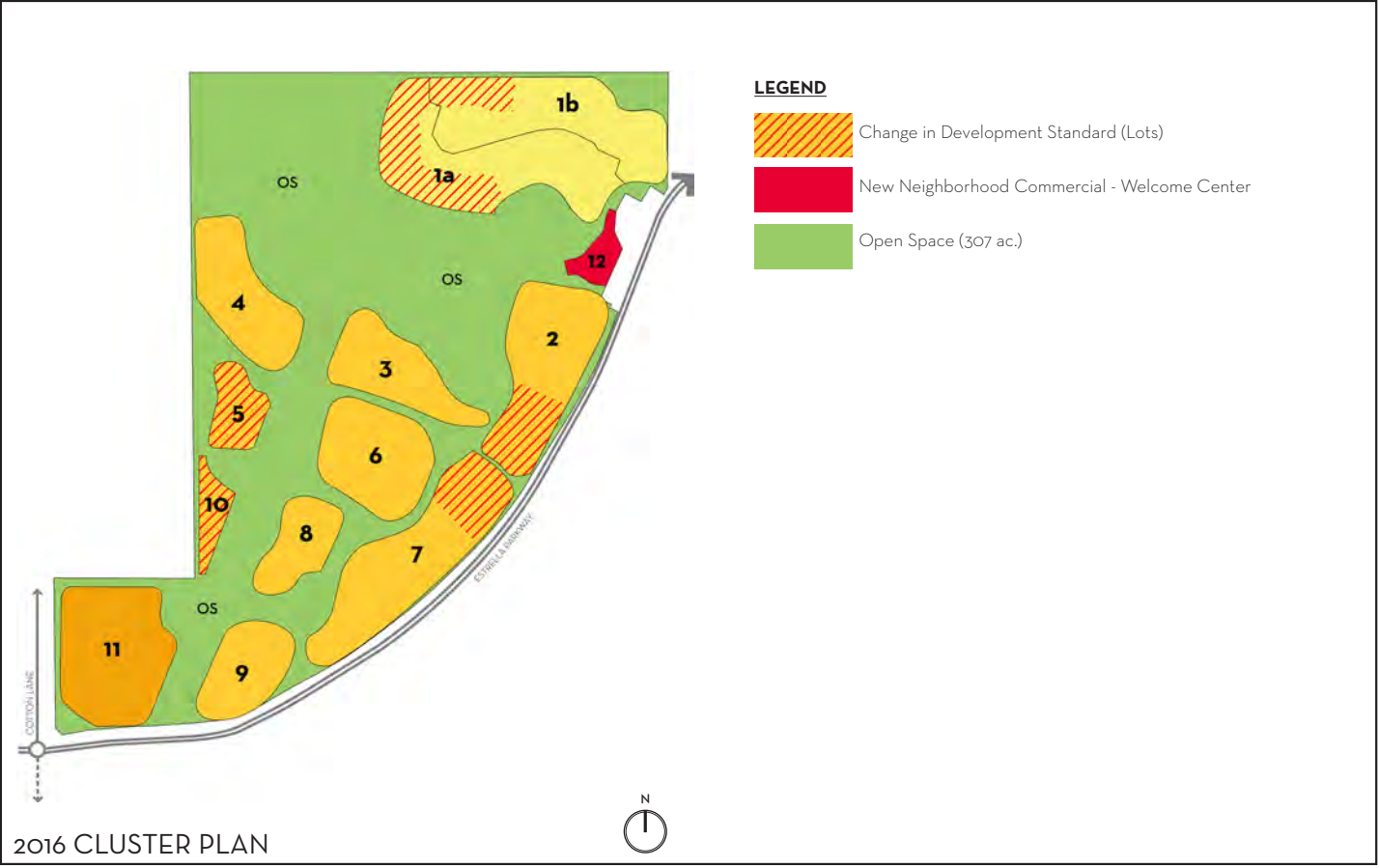
Although the previously submitted North Core PAD indicated a need for a hospital and assisted living facility within parcel 12, these facilities will not be needed for some time in Estrella as the community is too small to support them currently. They will be better served moving them further south closer to the Santa Mia age restricted community or along the future 303 corridor for better access.



FORMER PAD PLAN (1986)



APPROVED CLUSTER PLAN (2013)



2016 CLUSTER PLAN

EXISTING ESTRELLA LUCERO LAND AREA AND USE TABLE				
PAD PARCEL NUMBER	LAND USE	GROSS DENSITY	LAND AREA (ACRES)	POTENTIAL UNITS
1	Custom	1.0	90	90
2	Custom	1.0	24	24
3	Low Medium Density Single Family	4.5	26	117
4	Low Medium Density Single Family	4.5	29	131
5	Golf / Open Space	N/A	304	N/A
6	Low Medium Density Single Family	4.5	49	221
7	Townhome	12.0	25	300
77	Townhome	10.5	10	105
SUB TOTAL			est. 557	988
12	Mixed Use (office)	N/A	60	N/A
TOTAL			est. 617	988

* The 311 acres identified in the Proposed Cluster Plan Use Table as open space encompasses only those areas highlighted in green on the plan.

** No final decisions have been made at this time on the exact distribution of development types (single family detached, duplex, townhome/ flat, etc) throughout the planned development.

PROPOSED ESTRELLA LUCERO LAND AREA AND USE TABLE				
PAD PARCEL NUMBER	LAND USE	AVG. GROSS DENSITY	LAND AREA (ACRES)	POTENTIAL UNITS
1a	Rural Residential	1.0	28	28
1b	Low Density Residential	3.0	52	156
2	Low Medium Density Residential	4.1	34	140
3	Low Medium Density Residential	4.0	22	88
4	Low Medium Density Residential	4.0	25	100
5	Low Medium Density Residential	6.0	10	60
6	Low Medium Density Residential	4.0	26	104
7	Low Medium Density Residential	4.2	38	160
8	Low Medium Density Residential	4.0	13	52
9	Low Medium Density Residential	4.0	17	68
10	Low Medium Density Residential	4.0	6	24
O/S *	Open Space *	N/A	311	N/A *
SUB TOTAL			est. 582	980
11	Medium High Density Residential	7.7	35	270
TOTAL **			est. 617	1250**

PROPOSED ESTRELLA LUCERO LAND AREA AND USE TABLE				
PAD PARCEL NUMBER	LAND USE	AVG. GROSS DENSITY	LAND AREA (ACRES)	MAXIMUM UNITS
1a	Low Density Residential	1.9	36	70
1b	Low Density Residential	2.1	44	88
2	Low Medium Density Residential	4.3	34	146
3	Low Density Residential	3.7	22	81
4	Low Density Residential	3.8	25	94
5	Low Medium Density Residential	5.0	10	50
6	Low Density Residential	3.5	26	90
7	Low Medium Density Residential	4.6	38	174
8	Low Medium Density Residential	5.4	13	69
9	Low Medium Density Residential	5.6	17	94
10	Low Medium Density Residential	4.7	6	28
O/S *	Open Space *	N/A	307	N/A *
SUB TOTAL			est. 577	984
11	Medium Density Residential	7.6	35	266***
12	Neighborhood Commercial	N/A	4	N/A
TOTAL **			est. 617	1250**

The maximum density for the proposed land use categories shall be as follows:

Low Density Residential - 4.0 units per acre;
Low Medium Density Residential - 6 units per acre;
Medium High Density Residential - 12 units per acre.

The average density per parcel specified in the PAD Amendment may be adjusted (up or down) provided the resulting density for the parcel does not exceed the maximum for the parcel and the total number of units for the project does not exceed 1,250 units.

* The 307 acres identified in the Proposed Cluster Plan Use Table as open space encompasses only those areas highlighted in green on the plan.

** No final decisions have been made at this time on the exact distribution of development types (single family detached, duplex, townhome/ flat, etc) throughout the planned development.

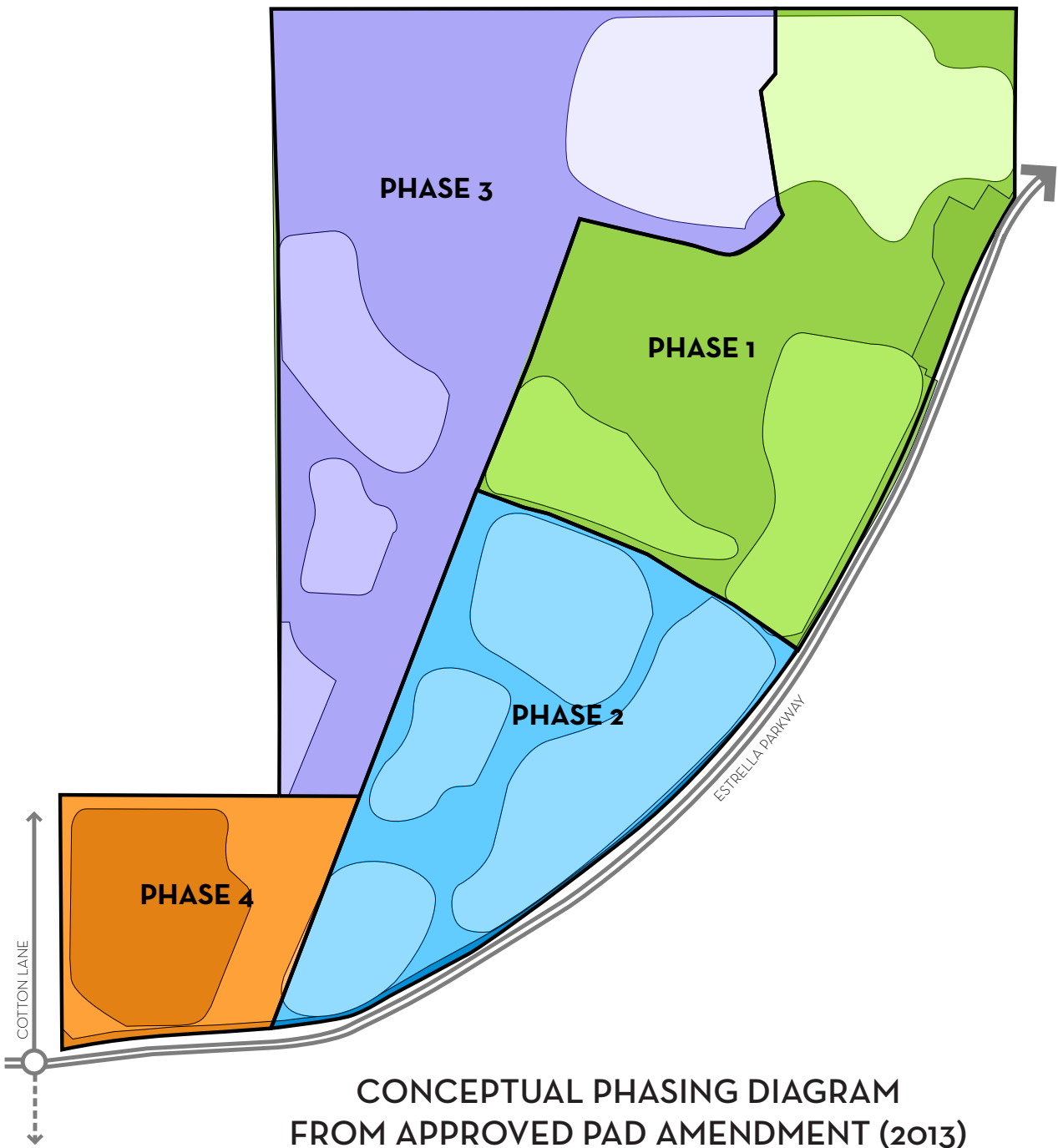
*** Only Parcel 11 shall include attached housing product and/ or townhomes/ duplexes. All other Parcels shall consist of single family detached housing product.

6. Phasing

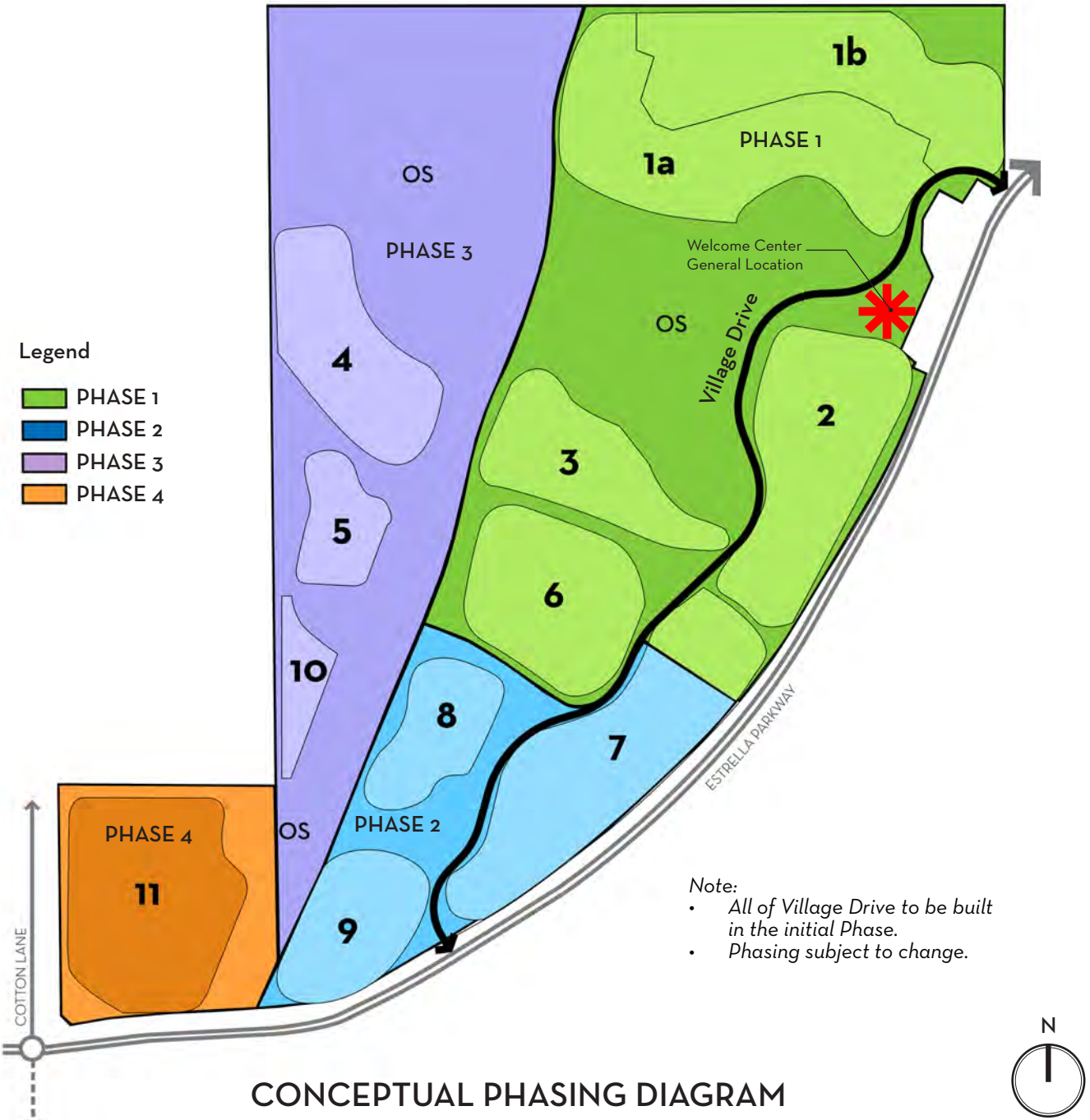
Relationship to Segmentation and Product Diversity

The proposed amendment and associated development represents a significant investment in capital and requires a sophisticated phasing strategy. Proposed phasing of development must be based on financially sound decisions.

The associated Conceptual Phasing Diagram below provides an anticipated strategy as to the potential phasing for this project. The actual implementation may be impacted by several factors in the future including: economy, product diversity, builder interest and development costs. The current strategy is to initiate the development on the northeastern end of the parcel and work down toward the southwestern end in a series of four phases.



CONCEPTUAL PHASING DIAGRAM
FROM APPROVED PAD AMENDMENT (2013)



CONCEPTUAL PHASING DIAGRAM

7. Amendment Analysis

Relationship to the Overall Community

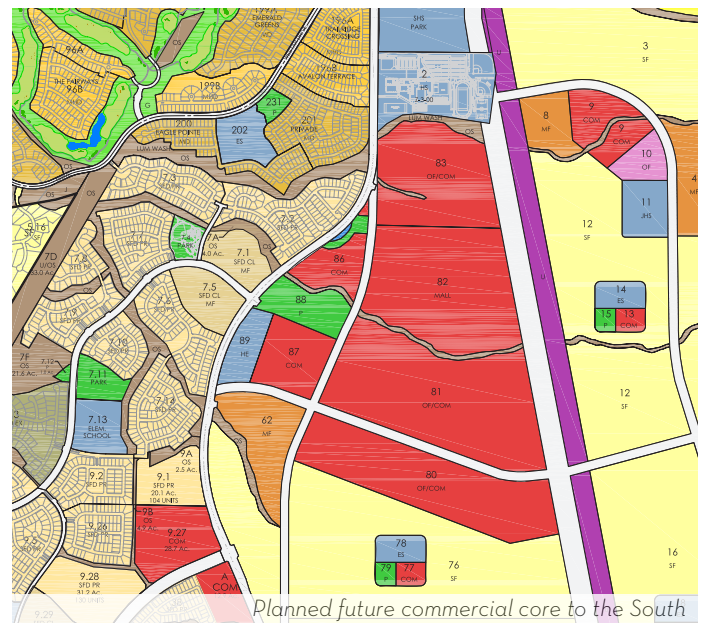
The proposed amendment suggests a more refined development strategy that will compliment the overall community framework for all of Estrella. A range of components have been carefully considered including; the size and scale of commercial development within the core of the community, the open space and outdoor recreation opportunities desired by future community members, a sensitive organization of the land within this unique setting and the strategic location of higher density housing products closer to the community core.

Relationship to Existing and Planned Commercial Development

The current land use plan for Estrella and the current core area of the Community provides for an extensive amount of future commercial square footage. The recently completed phase one of the Mountain Ranch Marketplace has approximately 120,000 square feet of commercial and retail space with an additional 50,000 square feet planned for future development. An analysis of all the planned commercial square footage throughout this core could exceed 900,000 square feet. This estimated yield would provide more than ample opportunities for a variety of commercial and employment related development and will take numerous years in the future to completely develop.

In addition, the future phased developments of Estrella planned to the south have also been organized with substantial commercial development. The accompanying exhibit shows the land use strategy for a significant commercial core that is planned in the future in the area bounded by Ray Road to the north, Williams Field Road to the south, Estrella Parkway to the west and Cotton Lane to the east. This area, which has the potential to be built out over the next several decades could accommodate roughly three to five million square feet of mixed-use commercial development.

The proposed change specific to this amendment, approximately 35 acres of medium high density residential along with 25 acres of open space to take the place of 60 acres of mixed-use office, will have no negative impact on the future potential of commercial development within the community. The proposed higher density housing will in fact have a positive impact on the success of the mixed-use core by providing homes with walkable access to current and future commercial development.



The Future of Golf and the Value of Open Space

Recent trends in master-planned communities have shown that community members value an interconnected open space network, paths and trails over golf courses. National trends also have shown that golf play continues to decline throughout the country including the Southwest. These trends, coupled with the unique character and quality of this specific parcel of land, have lead to the desire to maintain a greater amount of native open space for all to utilize and enjoy, rather than the golf, which would have limited benefit for a subset of the Community. Thoughtfully planned open space will provide beautiful views, natural buffers and strategic access related to the proposed paths and trails system. The proposed contiguous open space has been expanded from 143 acres to a total of 311 acres.

Together, the refined development strategy and components defined, provide a clear direction for this important portion of the Estrella community. The development as proposed here in, will have a positive impact on the overall quality of life for residents, visitors and neighboring communities.



Approved and Adopted Callisto Planned Area Development (PAD) Amendment. September 6, 2013. Modified for the Lucero PAD Amendment.

Subject to the following stipulations adopted per Ordinance 13-1288 on October 28, 2013:

1. Compliance with all stipulations of approval and the Estrella Phase One PAD as contained in Ordinance No. 87-217, except as modified by all of the stipulations of approval and the Callisto PAD Amendment dated September 6, 2013 as contained in Ordinance No. 13-1288, except as modified by these stipulations and the Lucero PAD Amendment dated March 18, 2016;
2. All development within the subject property shall be in substantial compliance with the development concepts and design standards in the City of Goodyear Design Guidelines as modified, except as modified by the Callisto PAD Amendment dated September 6, 2013 and the stipulations contained in Ordinance 13-1288 as modified by the Lucero PAD Amendment dated March 18, 2016 and the stipulations of approval of the Lucero PAD Amendment;
3. All amendments to the Lucero PAD shall be processed pursuant to the requirements under state law and the City of Goodyear's Zoning Ordinance for rezoning. No amendments to the PAD shall be approved administratively;
4. In the event of conflict between the Estrella Phase One PAD dated October 28, 1986 and any conditions of approval and the Lucero PAD Amendment dated March 18, 2016, the requirements of the PAD most recently adopted shall prevail;
5. Unless the City agrees to and acquires the reclaimed water delivery system within Estrella, reclaimed water service is not being provided by the City;
6. If the developer fails to comply with any of the stipulations contained in the Ordinance for the Lucero PAD Amendment, or fails to comply with any other City codes and regulations in the development of the property, then the City Engineer, or designee, may suspend the issuance of building and construction permits for the project until the developer cures the item in default. All amendments to the Lucero PAD shall be processed

Extensive regional and national studies have shown the added value of open space and a connected network of paths and trails leads to a healthier lifestyle

pursuant the requirements under state law and the City of Goodyear's zoning ordinance for rezoning. No amendments to the PAD shall be approved administratively;

7. The maximum density for the proposed land use categories shall be as follows:

Low Density Residential – 4.0 units per acre;
Low Medium Density Residential – 6 units per acre;
Medium High Density Residential – 12 units per acre.

The average density per parcel specified in the PAD Amendment may be adjusted (up or down) provided the resulting density for the parcel does not exceed the maximum for the parcel and the total number of units for the project does not exceed 1,250 units;

8. All development shall comply with the City of Goodyear Design Guidelines Manual except as modified by the Lucero PAD Amendment dated March 18, 2016;

9. The master drainage, water, sewer and reclaimed water reports and the traffic impact analysis associated with this development shall be completed in accordance with prevailing engineering design standards and to the satisfaction of the City Engineer, or designee. Preliminary plats for this development shall not be submitted to the City until the aforementioned documents have been approved by the Engineering Department;

10. The developer shall be responsible for developing water resources needed to serve the Property including, but not limited to, wells and treatment facilities;

11. The developer shall be responsible for improving existing facilities and/or constructing new facilities needed to serve the Property as identified in the master water, sewer, reclaimed water and drainage plans as approved by the Engineering Department and in accordance with prevailing engineering standards at the time of construction as follows:

a) The water system improvements shall include, by way of example but not limitation, all wells, well treatment, transmission and distribution lines, pumps, reservoirs, facilities and appurtenances necessary to serve the development while maintaining the system's existing capacity to serve existing developed parcels;

b) The sewer system improvements shall include, by way of example but not limitation, all collection lines, pumps, lift stations, treatment facilities and other appurtenances associated with the treatment and conveyance systems as is necessary to provide sewer services to this development while maintaining the system's existing capacity to serve existing developed parcels;

c) The stormwater management improvements shall include, by way of example, but not limitation, retention basins, basin dewatering mechanisms, channel improvements, and other appurtenances associated with the management of stormwater on the property;

d) The reclaimed water improvements shall include, by way of example, but not limitation, lines, pressure control devices and other facilities and appurtenances associated with the proposed reclaimed water system;

12. Improvements for all arterials, collector and local roads within and abutting the development shall be in compliance with the Engineering Design Standards and Policies Manual;

13. The proposed modifications to street cross sections are not being approved with this PAD Amendment. Consideration of any modification to City standard street cross sections will occur at the time of preliminary plat review. Concrete curbs and sidewalks shall be constructed on all street sections and on each side of the street and median per current City standards unless information provided to the Engineering Department at the time of preliminary plat review is sufficient to approve otherwise;

14. All trees within City right-of-way shall be per the City's approved tree list. All other vegetation within the right-of-way shall be per the Arizona Department of Water Resources low water use plant list;

15. The developer shall construct right-turn deceleration lanes and all other intersection improvements identified in the approved traffic impact analysis;

16. The developer shall be responsible for the installation of any traffic signals related to the development. The need and timing of such signal(s) shall be determined during the review of the preliminary plat

and either installed at that time, or an in-lieu payment made for future installation;

17. Decorative features on public bridges are not approved with this PAD Amendment. The use of such decorative features may be evaluated at the time of preliminary plat review;

18. The developer shall submit a current Phase I Environmental Survey designating the City of Goodyear as a named party to whom such survey is delivered and to whom such certification is made, together with any additional environmental surveys which the City Engineer deems necessary dependent upon the contents of the Phase I survey. Such survey shall cover publicly dedicated rights-of-way, easements, or other parcels of land dedicated to the public and shall be submitted with the final plat or site plan for the project. Any environmental conditions identified by the Phase I Environmental Site Assessment shall be addressed and remediated to the satisfaction of the City Engineer, or designee, prior to recordation of any final plat for the project;

19. All dwellings shall have four-sided architecture. Front and side elevations (for dwellings on corner lots) that are visible from public areas shall have a greater level of enhancement;

20. Neighborhood greens may be designed as landscaped depressions that, in part, will capture and retain their own storm water runoff;

21. Any play structure or tot lot shall have a City-approved shade structure over the play equipment;

22. Side-entry garages on lots 1/2-acre or larger shall observe a minimum setback of 20 feet;

23. The maximum height for any dwelling unit shall be 30 feet except in the Medium High Density Residential area, which shall allow a maximum height of 35 feet;

24. The maximum residential lot coverage shall be 60% for all lots less than 60 feet in width. The maximum residential lot coverage shall be 50% for all lots with widths of 60 feet or greater;

25. Detached single family dwellings on adjacent lots shall have front yard setbacks vary by at least three feet;

26. Two story homes shall not be permitted on corner lots or lots backing to an arterial roadway (except for 47'x90' lots), unless a landscape buffer at least 35 feet in width is provided. Two story homes may not be placed on more than three consecutive lots except in the Medium High Density Residential area, which allows attached townhomes, and 47'x90' lots;

27. View fencing shall be provided for lots adjacent to open space;

28. A natural landscape buffer shall be placed along Estrella Parkway in accordance with the Lucero PAD Amendment dated March 18, 2016. The width shall be predominately 80 feet, with no width less than 40 feet;

29. The developer shall submit design guidelines with the preliminary plat for any development proposed in the Medium High Density Residential land use for review and approval of product design, site design and access;

30. For all residential development, the developer shall provide for a waiver agreement, which shall run with the land, for each initial homebuyer to sign, and shall include the following statement in the waiver agreement: "This development is subject to attendant noise, vibrations, dust, and all other effects that may be caused by overflights and by the operation of aircraft landing at, or taking off from, Luke Air Force Base and/or the Phoenix-Goodyear Airport. The owner does release and discharge the City of Goodyear, developer and homebuilder from any liability for any and all claims for future damages and complaints of any kind to persons or property that may arise at any time in the future from the operation of such aircraft near and over the area"; and,

31. For all residential development, the Public Sales Report and final plat(s) shall include a statement that the development is subject to attendant noise, vibrations, dust, and all other effects that may be caused by overflights and by the operation of aircraft landing at, or taking off from, Luke Air Force Base and/ or the Phoenix-Goodyear Airport.

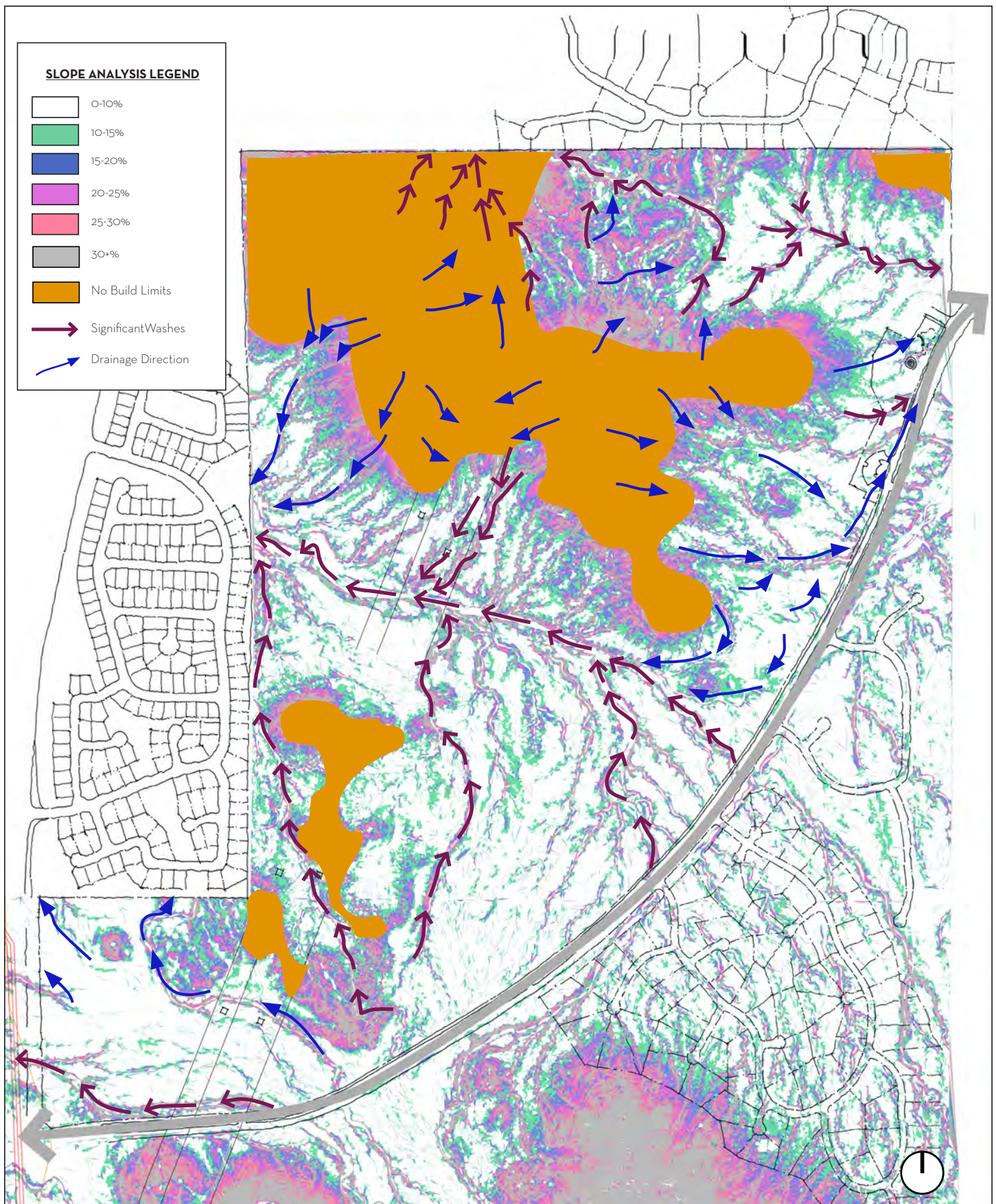
8. Slope and Drainage

General Description

The proposed cluster development strategy provides a sensitive development approach to limit impacts to significant slopes. The accompanying Slope Analysis Map identifies the range of slope categories throughout the parcel boundaries. The accompanying legend has been color coded to visually express these ranges. The most significant landforms are located in the northern half of the site. These landforms have elevation high points up to 1270 *ft*. The majority of the parcel to the south of these highpoints is gently sloping toward natural drainage ways. Some of the land area along the northeastern portion of the parcel can be described as rugged and irregular, but relatively flat.

Careful attention has been given to limiting impacts to significant slope areas and major landforms. In several instances, the site includes anomalies or irregularities of landform that are not related to hillside conditions. These anomalies may be found within relatively flat areas and characterized by rock outcroppings, large boulder formations, slopes adjacent to drainage ways, etc. In all cases identified above, these anomalies may consist of significant slopes, but are not part of a hillside condition and therefore shall not be identified as a hillside constraint.





SLOPE ANALYSIS MAP

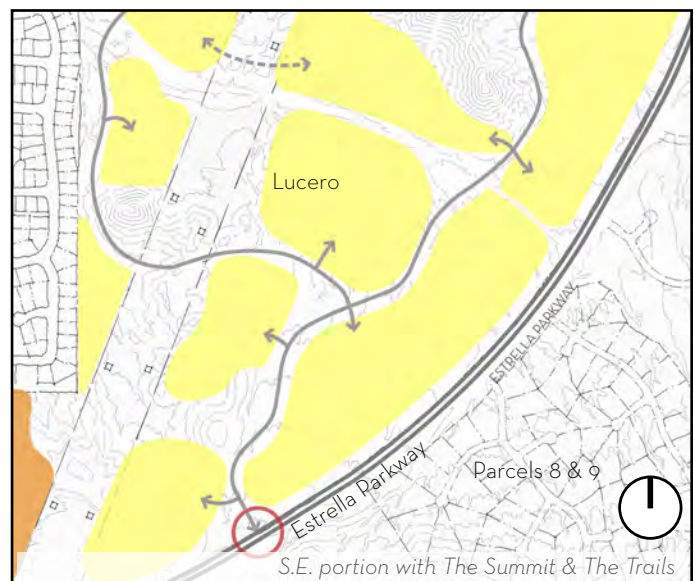
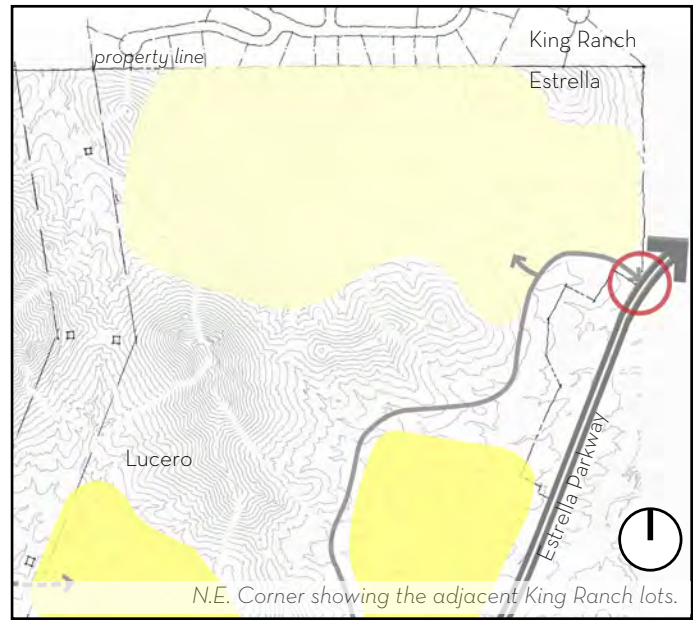
9. Adjacent Land Uses

Description of Adjacent Land Uses

The lands directly north and east of the parcel are currently undeveloped and part of the previously entitled King Ranch PAD, dated June 7, 2005. The planned layout of lots has been shown on the adjacent conceptual land plan exhibits in order to provide the context of potential future development. The identified King Ranch lots to the north are identified as small custom lots (100' x 150'). These likely pre-engineered and pre-graded lots would abut the north property line of the proposed plan. The proposed King Ranch lots abutting the west end of this parcel are identified as production lots of varying sizes. Based on the conceptual plan for this proposed amendment, there would be little to no impact on the future development potential for King Ranch.

The south end of the parcel terminates in the vicinity of the round-a-bout that connects Cotton Lane and Estrella Parkway. As previously described, proposed and existing uses around the circulation route focus on the commercial core. It is anticipated that this area over time will continue to evolve into a mixed-use "town center" type environment. The proposed amendment and described development would complement existing and future uses in this area.

The area directly southeast of the proposed amendment, along the east side of Estrella Parkway has a series of custom home neighborhoods. Some of these homes are complete and some have infrastructure in place with undeveloped lots. Parcel 8, The Summit, has a total of 43 lots, of which 25 have built homes. Parcel 9, The Trails, has a total of 92 lots, of which 15 have homes. The proposed cluster neighborhood development strategy will provide more open space and have less visual impact on the Estrella Parkway and on these neighboring lots.





10. Infrastructure & Services

Water

Lucero public utility services will be provided from the Site 13 and Rainbow Valley water campuses and the Corgett Waste Water Treatment Plant. Reclaimed water will be fed from the non-potable system located thorough out the Estrella property. The Site 13 Water Campus has a 1.5 million gallon storage tank that receives water through two water transmission mains from the north (a 20" main in Cotton Lane, and a 16" in Estrella Parkway), where they merge into a singular line at the Estrella Parkway round-a-bout (Estrella Parkway and Cotton Lane). At that point, the feed is reduced to a singular 16" main that feeds the Site 13 tank. As part of the North Solution Agreement, Newland is in process of installing a parallel 20" main from the round-a-bout to the Site 13 tank. Following completion and acceptance, there will be a dual feed to the campus from the north, as well as a direct gravity feed to the Rainbow Valley Campus. Construction is expected to begin in the next couple months. As part of the North Solution Agreement, work will soon be starting on an upgrade the Site 13 and Rainbow Valley Water Campus Facilities. Additional piping and pumps, chlorinators, etc. will be installed to increase the pumping capacity of each campus. Work is expected to begin in the next couple months. Two water pressure zones are located at the Site 13 campus, zones 1 & 2. These zone(s) will feed the Lucero property. An engineering study including modeling will need to be performed in the future which will best show how to feed the Community in the most efficient, acceptable manner, based on the current piping arrangement. The study will include a detailed analysis using the existing piping configuration and will determine the best scenario to feed the project utilizing the existing and potential new facilities. The study will also look at existing and future pumping capabilities, and water storage.

Waste Water

Waste Water flows will be directed to the Corgett Waste Water Treatment Plant. The rated capacity of the Corgett plant is 0.8mgd. Influent monitoring shows average days flows of 400,000 to 500,000 gallon per day for the first five months of 2013 (per the City of Goodyear). Flows from the Community are expected to be between 140,000 and 180,000 gallons per day (depending on final unit count). It is possible, depending on the number of units constructed in

Lucero and other regions within the Corgett basin that during the course of the Lucero development, the Corgett plant may require and upgrade. Should this be the case, a design will begin at the appropriate time as determined by the Maricopa County Environmental Services Department, and implemented when needed to accommodate the additional flows. It is expected that if this takes place, it will be in the latter phases of development. An detailed engineering study will need to be performed in the future too better determine the flows and the effect on the plant. The Corgett plant is currently under construction to upgrade several of the existing components including the replacement of the existing effluent filters with a newer, more efficient technology that will produce a consistent A+ effluent for delivery to the HOA community lakes. The effluent generated from this project will be utilized to feed the existing and future grass and landscaping throughout the community. Expected completion is later this year.

There is an 8" gravity sewer main, lift station (lost Lift Station) and force main currently installed within the Lucero property. The gravity main roughly bisects the property running south to north along the wash terminating at the lift station. The force main leaves the lift station and runs along the eastern side of the SRP utility easement for approximately 1000 feet at which point it crosses to the western side and continues until it terminates at the delivery point into the existing sewer main at Estrella Parkway. From that point, the flows gravity feed to the Corgett plant. The gravity line and lift station currently receive flows from parcels 8 & 9, located on the south side of Estrella Parkway. The existing gravity sewer main (paralleling the wash) will be utilized to the greatest extent possible for the property, but additional facilities will be required as discussed below. The Lost lift station was constructed to build out capacity as part of the original install for the area and will likely not require any modifications to accommodate the Lucero flows. Per an email from the City, the current capacity of the lift station is 1 mgd per day. For 2013 the flows reported to Newland have been between .367 and .497 mgd. Based on 1250 homes being constructed in Lucero and using an average of 144 gpdu (from the IWMP, table 3.12), calculated flows will be approximately 180,000 gpd. It is expected that if these flows are correct and the plant hit 80% of the approved capacity, the plant expansion design will need to start.

The topography of the Lucero property falls from the northwestern property line to the east with some high point from the mountains in between. As stated above, the existing sewer main will be utilized the greatest extent possible, but due to the south east portion of the property being lower than the existing main, a second sewer lift station will likely need to be constructed in the southeastern portion of the property to accommodate the waste water flows generated from the northeastern and eastern parcels. For this reason, during the original build of Estrella Parkway, a force main was installed within the Right of Way from roughly the Startower to the existing gravity sewer main (that bi-sects the property). This forcemain may be utilized in conjunction with the new lift station, but other alignments may be explored to see if a more efficient option exists. A study will need to be performed as part of the future engineering to determine the effect the additional waste water generated from Lucero will have on the Corgett plant, the existing infrastructure, and the possibility and timing of an upgrade, if necessary. The property is intended to be phased, which could have an effect on the timing of the upgrade, based on the number of units to be built in each phase.

Reclaimed Water

Reclaimed water will be used to serve the Lucero landscaping. There is currently an existing mainline running in Estrella Parkway adjacent to the Lucero frontage that will be utilized to feed the property. This mainline as well others throughout the community are pressurized from a pump station located on the west side of the North Lake. The pump station is owned and operated by the HOA.

Community Association

Lucero will be subject to private design guidelines established through the Association Covenants, Conditions and Restrictions (CC&R's) that include architecture, materials, color and landscape. All house products design reviews will be reviewed by this committee and coordinated with the City of Goodyear Community Development Department for approval. The association also operates the private residents club, lakes, parks, trails, and activity programs for Estrella. Lucero, as part of the association dues to be paid, will have access to all the amenities including the Starpointe, and future Presidio (to be built in the Montecito community), residence clubs.

Police and Fire

The City of Goodyear will provide police and fire services to the Lucero property. The area will be served emergency and fire services from station 182, located on the northeast corner of Estrella Parkway and Spring Drive. The station is roughly 6500 feet from the Cotton Ln. and Estrella Parkway round-a-bout (southeast corner of the project), and expected to be within the required response time, but remains to be confirmed by the Goodyear Fire Department.

Over-flights

The parcels will be subject to over-flights from Luke Air Force Base and Phoenix-Goodyear Airports. The department of Real Estate Public Sales Report and the final plats for each parcel will include a statement that the parcels are subject to attendant noise, vibration, dust, and all other effects that may be caused by over-flights and by the operation of aircraft landing at or taking off from Luke Air Force Base or Phoenix-Goodyear Airport. The standard aviation easement language will apply to these parcels.

Schools

Students from the Lucero development will attend Estrella Elementary through the Liberty Elementary School District, and Estrella Foothills High School through the Buckeye Union School District. Both districts have been contacted concerning this amendment. Both school districts have been contacted, neither express concerns and said they would be able to accommodate the students. Both have responded in writing which have been included in this amendment.

** Refer to the letters on the following two pages from the Superintendents of both the Liberty School District and the Buckeye Union High School District.*



COMMITTED TO STUDENT SUCCESS

June 11, 2013

Sheri Wakefield-Saenz
Development Services Director
195 N. 145th Avenue
Goodyear, AZ 85338

RE: Estrella PAD Amendments
Community 11


Dear Ms. Wakefield-Saenz,

In May of 2013 representatives of Newland Communities sent us updated plans for Community 11. The Liberty Elementary School District will have sufficient capacity within the existing schools at Estrella to accommodate children from these parcels per the zoning changes.

We do face challenges in our enrollment and capacity with continued growth in the entire Estrella Community. The largest barrier to accommodating growth in our school populations is the unwillingness of the state to fund new school construction.

Liberty Elementary School District does not object to the proposed rezoning of the above referenced community. Should you have any questions, please contact us at your convenience. We would like to be notified of any neighborhood meeting or public hearings on these parcels.

Sincerely,


Dr. Andy Rogers
Superintendent

THE LIBERTY SCHOOL DISTRICT

19871 West Fremont Road • Buckeye, AZ 85326 • Office (623) 474-6600 • Fax (623) 474-6629

1000 East Narramore Avenue
Buckeye, Arizona 85326
P: (623) 386-9700
F: (623) 386-9923
www.buhsd.org



Buckeye Union High School
1000 E. Narramore Ave.
Buckeye, AZ 85326
P: 623-386-4423
F: 623-386-9711

June 11, 2013

Sheri Wakefield-Saenz
Development Services Director
195 N. 145th Avenue
City of Goodyear, AZ 85338

Dear Ms. Wakefield-Saenz:

In reviewing the conceptual plan for Community 11 provided by Newland Real Estate Group, Estrella Foothills High School would be able to provide educational services to the high school aged student population that potentially could be produced by this new community.

These services would be provided on our existing campus located at 13033 S. Estrella Parkway and the capacity of this campus is such that it would allow for these additional students. If you need additional information please contact me.

Sincerely,

Eric Godfrey
Superintendent
ericg@buhsd.org



Estrella Foothills High School
13033 S. Estrella Parkway
Goodyear, AZ 85338
P: 623-327-2470
F: 623-327-2499



Youngker High School
3000 S. Apache Rd.
Buckeye, AZ 85326
P: 623-474-0100
F: 623-474-0141



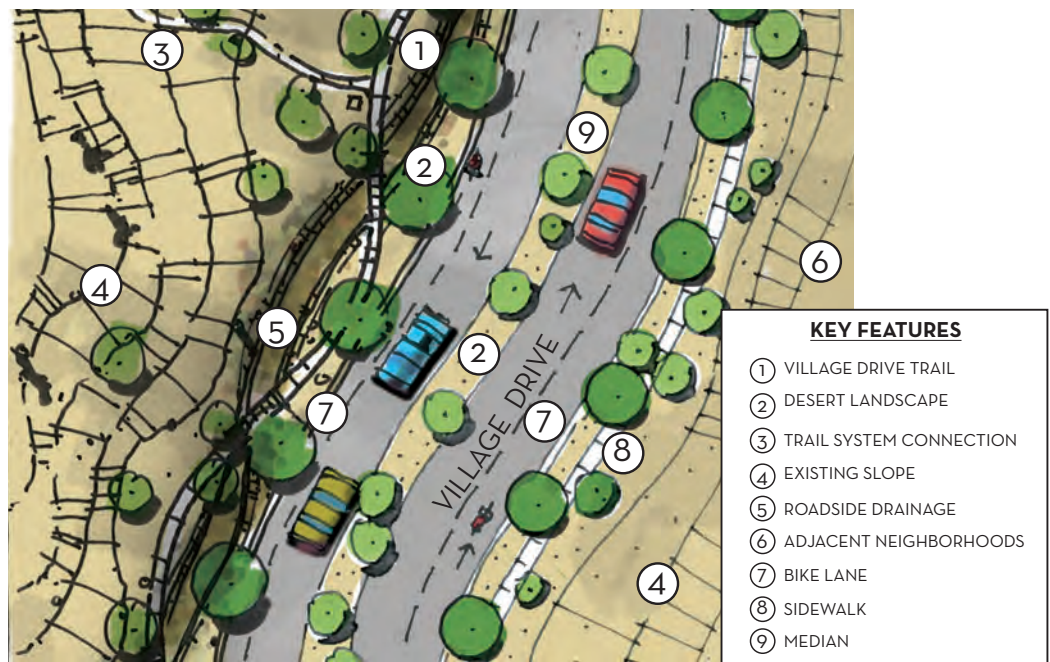
The Learning Center
751 N. 215th Ave.
Buckeye, AZ 85326
P: 623-474-0332
F: 623-386-1340

Streets

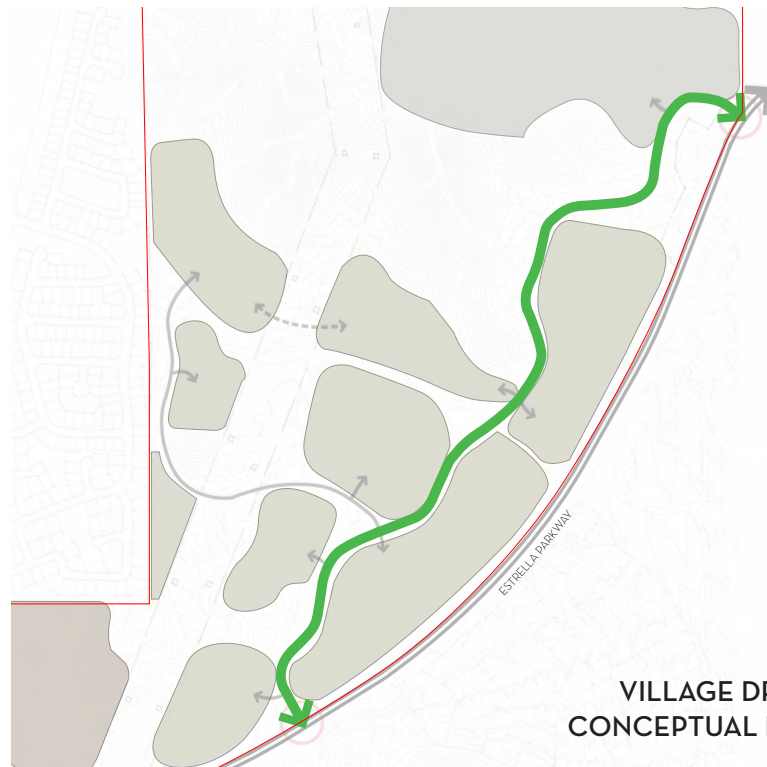
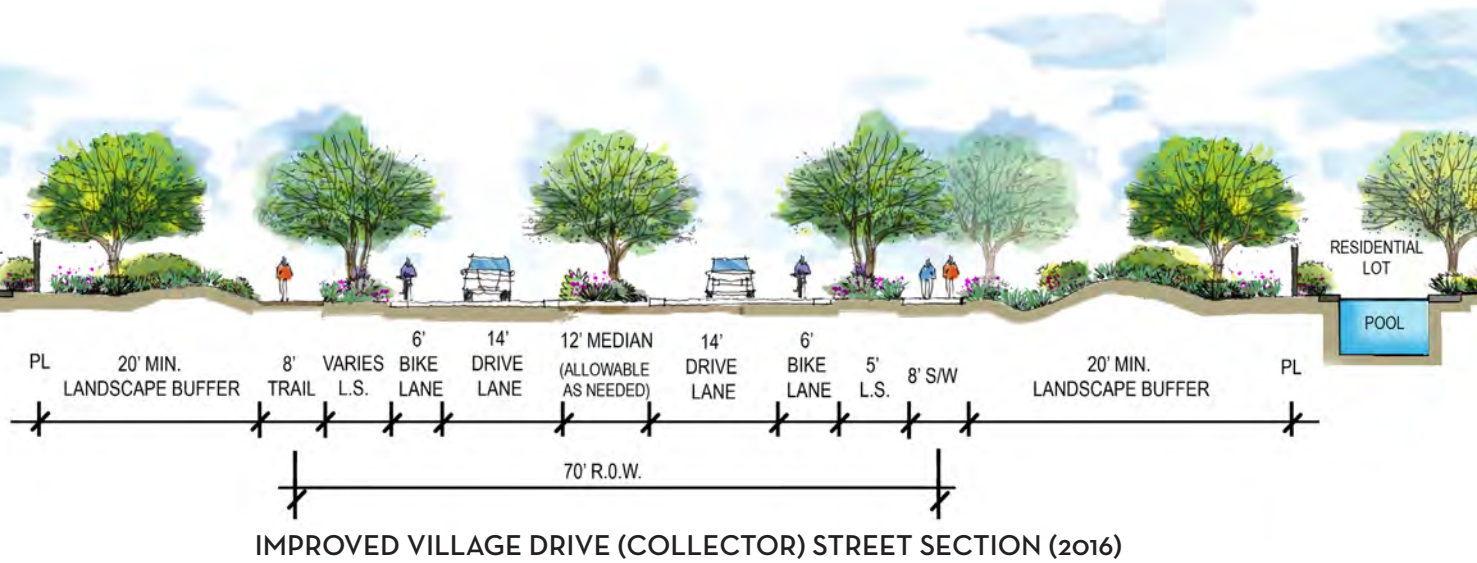
Access to the parcels will be from Estrella Parkway or Cotton Lane. Great care has been taken to minimize the number of entrances to each, limiting the number of ingress/egress points onto Estrella Parkway, and Cotton. A traffic study has been completed and attached.

The local streets will be designed to the City standard detail using a 50' right of way section. The developer is requesting consideration of a reduction in sidewalk to one side of the street for these parcels which will give a more relaxed, less utilitarian feel with less concrete and more landscaping. One-way streets (20' wide), may be used within the planned neighborhoods to reduce conflicting turning movements at intersections and increase pedestrian safety. Concept has been discussed with Staff and request for use and approval will be at time of pre-plat submittal or plat. The developer is committed to this by adding in the addition of "neighborhood greens" to give a better sense of arrival as you turn into the parcel, and feel of more open space to the Community. The collector street has been designed to integrate with the surrounding area leaving as much visible open space as possible as you drive along the street. A significant portion of the drive will include mountain views, washes, hillsides, trees, and lush vegetation. Care has been taken to give a sense of arrival to the community with less infrastructure, and more green space, to give a better feel when you arrive at your home. Due to this, the developer will be asking for consideration to the change of the standard collector design by reducing the use of concrete curbs and sidewalks to a minimum, and flexibility in drainage with the use of swales to control the flow of storm run-off along the collector street. These concepts will give some originality to the community and a better feel for open space. Newland is requesting the opportunity to explore an alternate cross section for both the collector and residential parcels during the preliminary plat design phase and understands that the approval of the request is not a guarantee the alternate design will be approved for use. The change to the cross section for the parcels would be limited to sidewalk on one side which will allow for additional landscaping and a softer more relaxed look with the reduction of the concrete. The collector cross section will be explored for reduction in sidewalk and curb which again, it is felt the community will have a much more softer feel upon arrival to the community with this reduction.

Because of the nature of the planned cluster neighborhood development and strategic use of the proposed Village Drive, the Developer is proposing a single sided sidewalk condition for Collector Streets that will be carefully designed to integrated with the open space, neighborhoods and the overall Trails Network. Because of the nature of the planned cluster neighborhood development and the careful organization of small neighborhoods, the Developer is proposing a single sided sidewalk conditions for Local Streets that will provide safe and convenient access from homes to the trail system. See the sketch of page 17, that shows the treatment for the trail with respect to planting design.



VILLAGE DRIVE CONCEPTUAL KEY FEATURES



11. Design Guidelines

Purpose and Overview

The desire and necessity to establish criteria for site planning, architecture, landscape architecture and sustainable concepts envisioned for development related to the proposed amendment is imperative. These design criteria will help to ensure a high quality built environment based on the established vision for this portion of the community.

The primary **goals** of these design guidelines are to:

- Encourage creative and flexible site planning solutions that meet the City's general codes, ordinances and requirements.
- Establish architectural design direction that ensures the community vision and design philosophies are carried out in an orchestrated manner.
- Successfully integrated development within the context of the natural desert setting and surroundings.
- Develop a sustainable, ecological friendly cohesive project that compliments the overall character and quality of Estrella.

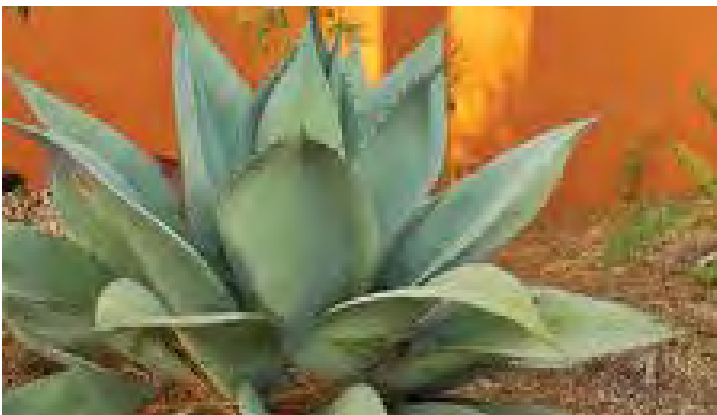
Key community planning and design **principles** that shall be the bases for all design initiatives for this development will include the following:

- Communicate a sense of time and tradition.
- Strive for a clear sense of craftsmanship with all development.
- Introduce features and elements that enhance the human scale.
- Open space and enhanced open space shall be integrated into the design.
- Pedestrian oriented development should be the norm.
- A special focus on healthy living environments.



Site Planning

The goal for site planning should be to create integrated, yet distinctive environments that add to the overall quality of the community. Special care with all site-planning issues shall focus on the relationship between the aesthetic of highly visible built elements and the desire to provide an individual residential setting that delivers privacy, is safe and meets the functional needs of each individual home owner.







Design Criteria:

1. Integrate development with the site's natural features.
2. Create a strong relationship between each home and the public street.
3. Incorporate transitions of scale into community fabric.
4. Provide pedestrian linkage throughout the development.
5. Integrate new development with existing amenities and connections.
6. Incorporate features for shade to add comfort in the desert setting.
7. Design for compact development with integrated open space.
8. Special design care for corner lots to enhance streetscene.
9. Introduce a variety of floor plans and elevations on each streetscape in order to create more variety and visual interest.
10. Street scenes to provide varied front yard setbacks, floor plans, rooflines, and garage orientation in order to provide visual interest.
11. Where possible, incorporate open space and buffers on backsides of building development.
12. Limit the straight long street alignments.
13. Maintain natural wash corridors and drainage patterns where feasible.
14. Blend new development with existing desert conditions through subtle use of grading, landform, landscape and site features.
15. Incorporate site features, community walls and other elements that complement that desert setting as well as the architectural design character.
16. Utility boxes and mechanical equipment should be screened appropriately.
17. Mail service strategies shall be carefully integrated with all aspects of the site planning and community design.
18. Maintain and frame mountain views in the foreground and background.
19. All development shall comply with the City of Goodyear Design Guidelines Manual except as modified by the Callisto PAD Amendment dated September 6, 2013, and this amendment.

Development Standards for the Various Lot Sizes

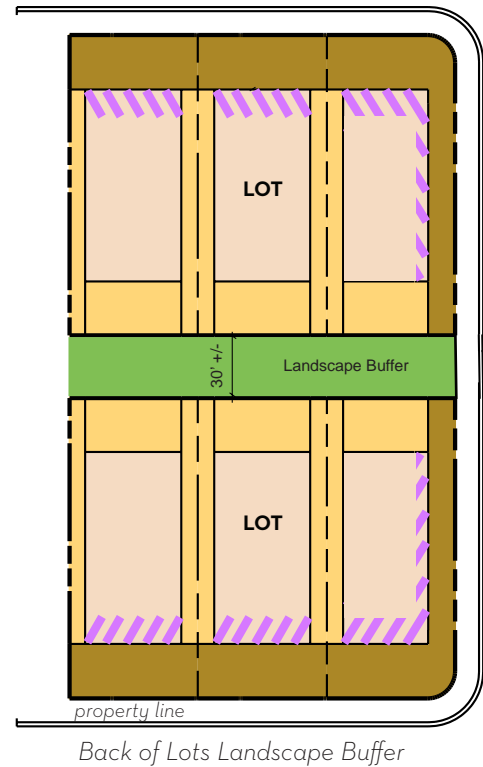
Conceptual Range of Residential Lots

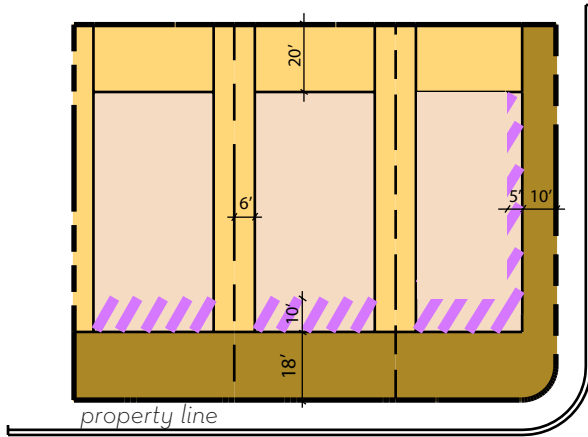
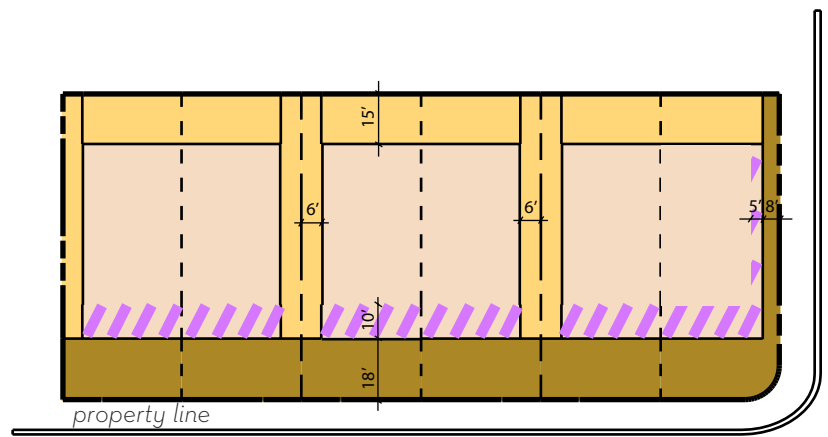
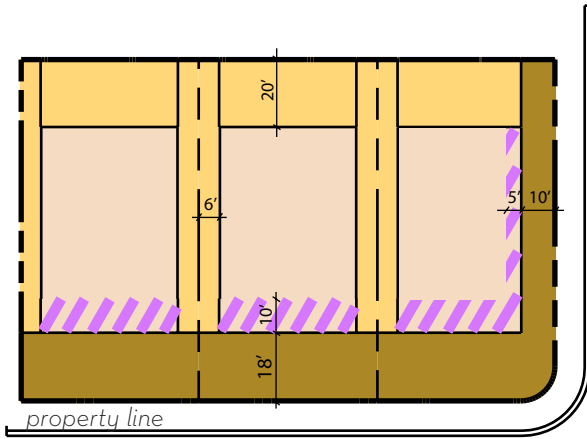
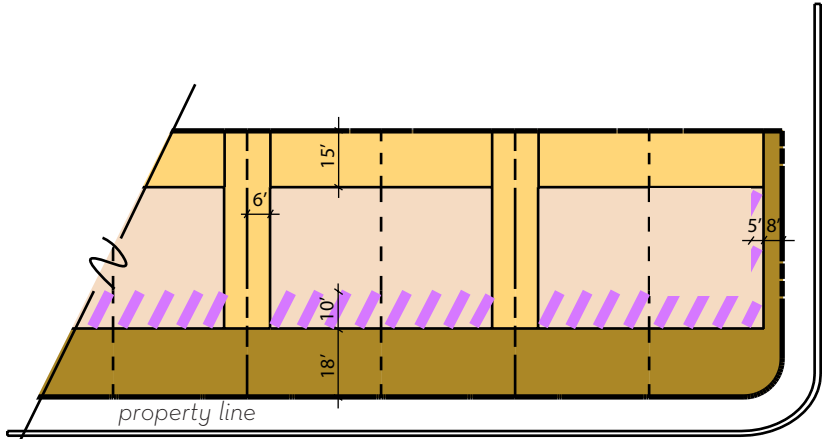
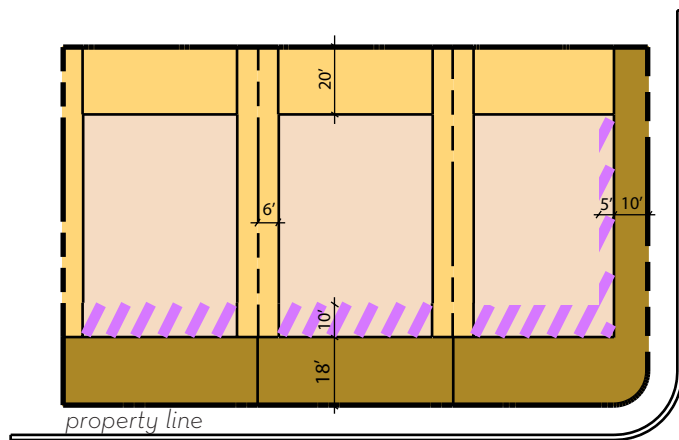
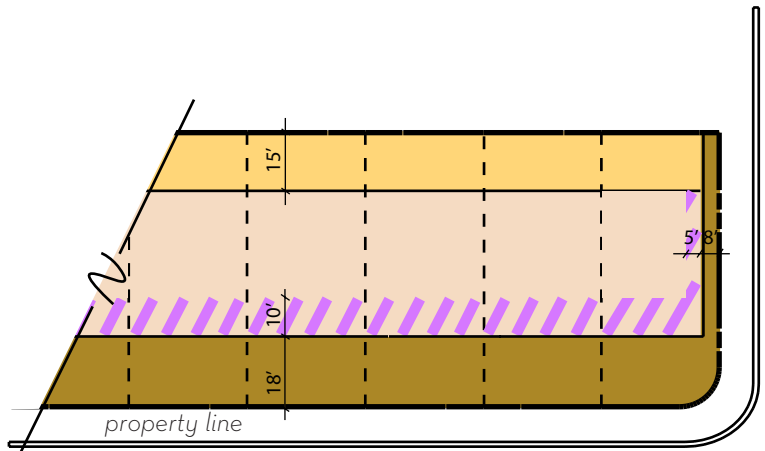
LEGEND

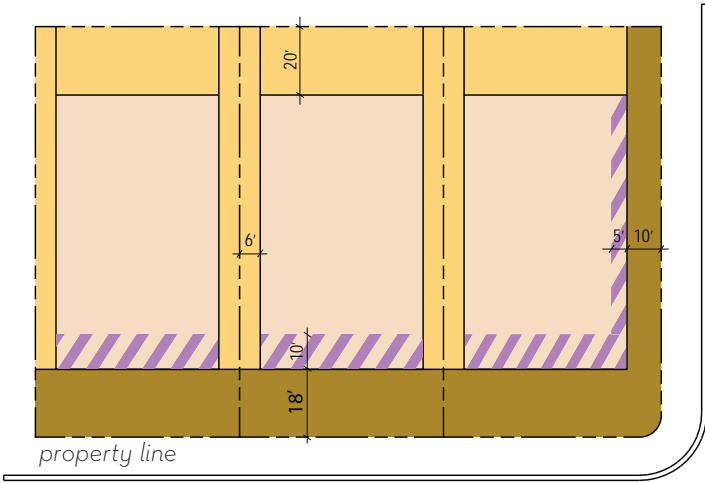
-  - SIDE & REAR YARD SETBACKS
-  - BUILDING ZONE: *Buildable Area after setbacks*
-  - FACADE ZONE: *Front and side elevations visible from public areas shall have a greater level of design sensitivity.*
-  - FRONT YARD & SIDE STREET SETBACK

* Notes: for all lots

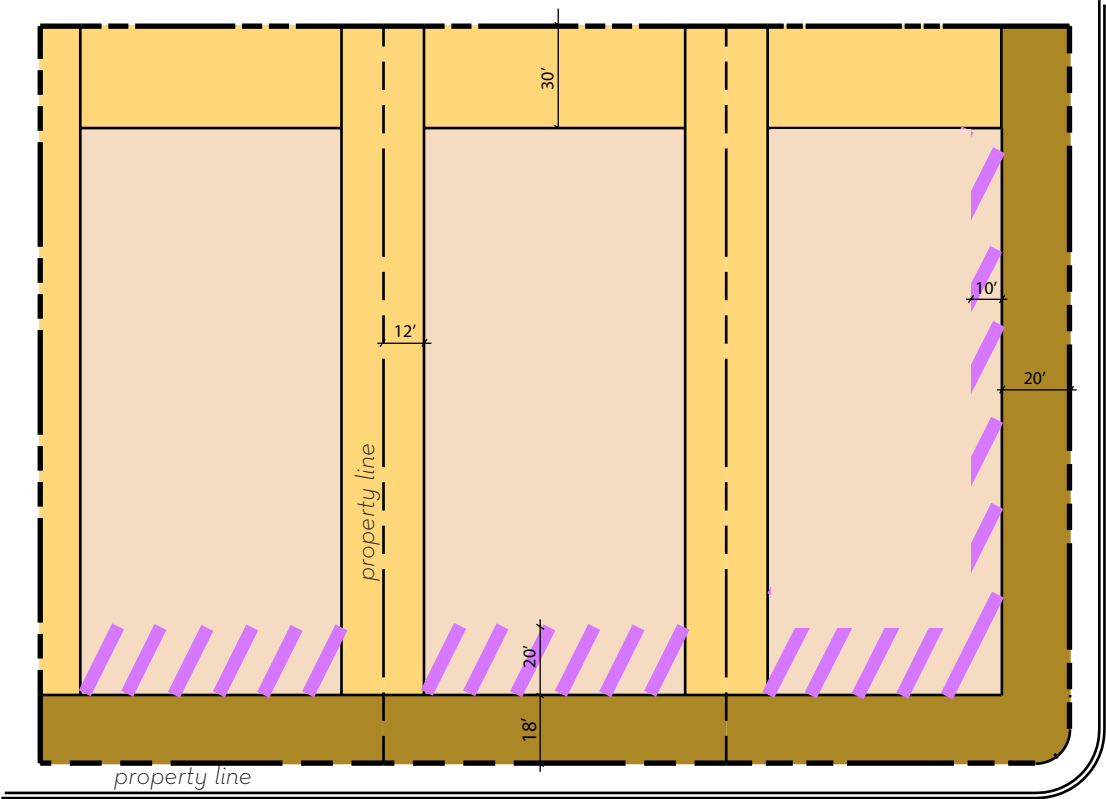
1. 10' front yard setbacks are permitted for side entry garages.
2. Detached single family dwellings on adjacent lots shall have front yard setbacks vary by at least three feet. A minimum front yard setback of 18' is permitted to accommodate the 3' building setback differential. Building setbacks should be 18'-21' to face of garage. Sidewalks not to be blocked.
3. The maximum height for any dwelling unit shall be 30 feet except in the Medium High Density Residential area, which shall allow a maximum height of 35 feet.
4. Two story homes shall not be permitted on corner lots or lots backing to an arterial roadway (except for 47'x90' lots), unless a landscape buffer at least 35 feet in width is provided.
5. Two story homes may not be placed on more than three consecutive lots except in the Medium High Density Residential area, which allows attached townhomes, and 47'x90' lots.
6. The maximum residential lot coverage shall be 60% for all lots less than 60 feet in width. The maximum residential lot coverage shall be 50% for all lots with widths of 60 feet or greater.
7. Architectural features like bay window may encroach 5' into the front yard setback, but no closer than 10' to the property line.
8. Front porches may encroach 10' into the front yard setback and 2' into the side yard setback.
9. Rear patio covers may encroach 10' into the rear building setback. (For 47'x90' lots, only 5' allowed).
10. Based on rear yard setbacks requested, typical back of lots will have an additional landscape buffer zone of 30' +/- (with the exception of some lots oriented on and next to the neighborhood greens).
11. View fencing shall be provided for lots adjacent to open space.
12. All dwellings shall have four-sided architecture. Front and side elevations (for dwellings on corner lots) that are visible from public areas shall have a greater level of enhancement.
13. Architectural features like bay windows may encroach 5' into the rear yard setback and 2' into the side yard setback.
14. The proposed plan only includes attached sidewalks on one side.
15. A 20' minimum depth between the back of sidewalk and face of the garage (front facing) shall be maintained.
16. Side-entry garages on lots 1/2-acre or larger shall observe a minimum setback of 20 feet.
17. When a side yard tract with a minimum width of 10 feet is incorporated between the side of a lot and adjacent street right-of-way, the minimum internal side yard setback can be used between the home and side yard property line.



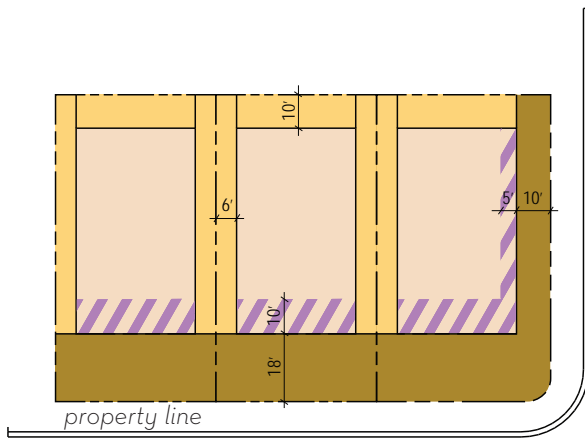
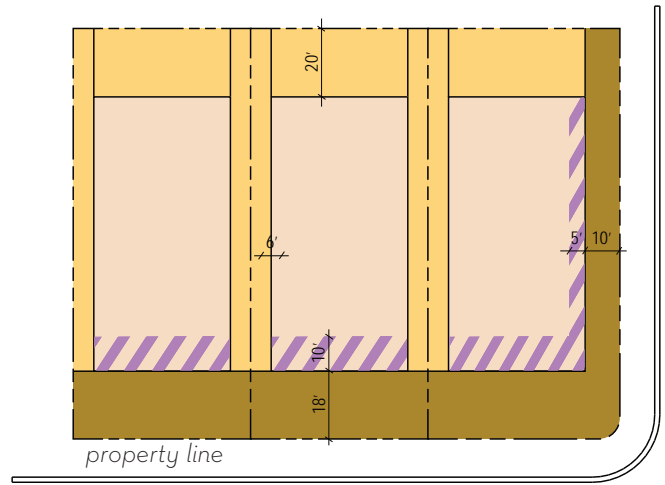
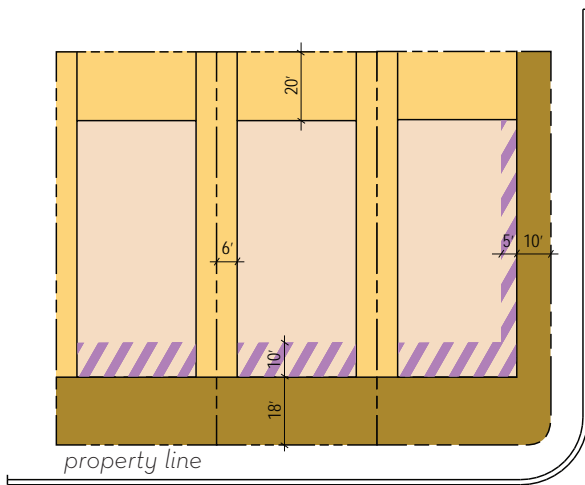
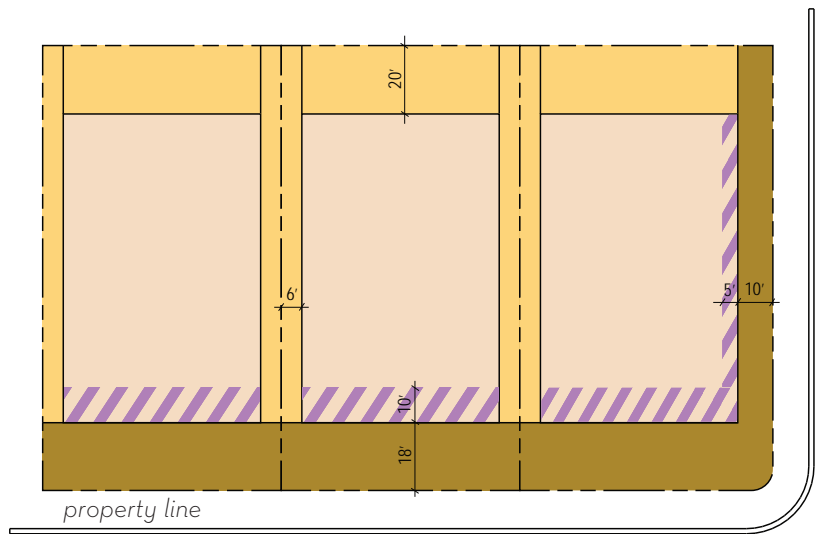
**47' x 110' LOT****70' x 70' DUPLEX LOT**
(optional zero lot line S.F. attached 35'x70' lot)**52' x 100' LOT****70' x 90' DUPLEX LOT**
(optional zero lot line S.F. attached 35'x90' lot)**57' x 105' LOT****30' x 70' TOWNHOME/FLATS**
(up to 8 continuous units for townhomes)



60' x 120' LOT



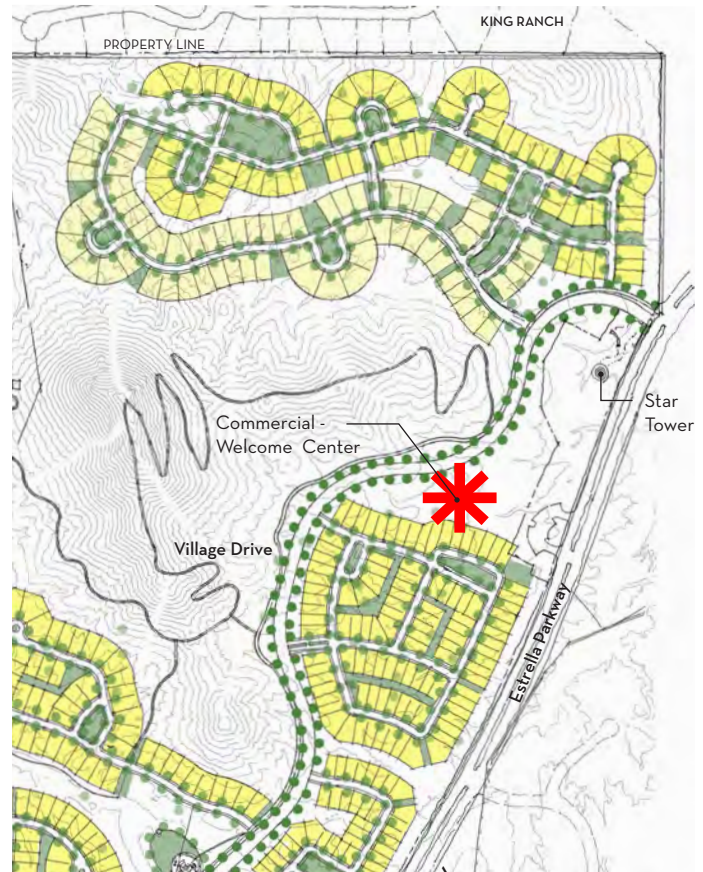
1/2 ACRE LOT (30% LOT COVERAGE)

**47' x 90' LOT****52' x 120' LOT****47' x 115' LOT****70' x 130' LOT**

Neighborhood Commercial - C1

Welcome Center Development Standards

The goal is to create a new Welcome Center for the community that will replace the existing Center that is currently located near the lakefront just South of Elliot Rd. It's planned location adjacent to the Star Tower truly represents the entrance and gateway to the community. Along with the planned development for Lucero, this new facility will provide a warm and friendly environment for guests and all Estrella residents. The facility is envisioned to have a modest café, bike shop and trail head, along with other traditional welcome center components that will provide community information and details. The trailhead theme aligns nicely with the trails planned for Lucero including the connectivity throughout all of Estrella. Included in the overall design will be a series of inviting outdoor gathering spaces for both informal get togethers as well as small formal events for special functions. These events may include everything from outdoor barbeques, to yoga classes out on the west lawn, to special performances at the adjacent mini-amphitheater. The future use of the building may transition to a retail or community oriented facility. Other future uses will be considered in the future based on the applicable commercial zoning.



Bike store and coffee shop



Welcome Center



"The Post" at Tehaleh.
One of Newland's most successful and recent Welcome Centers.

Architecture

The architecture for the proposed development shall establish a quality of design excellence. The proposed design direction shall both compliment the overall development within Estrella and also stand on its own with respect to character and visual interest. The following considerations for architecture design are intended to ensure the integrity of the built environment.



Design Criteria:

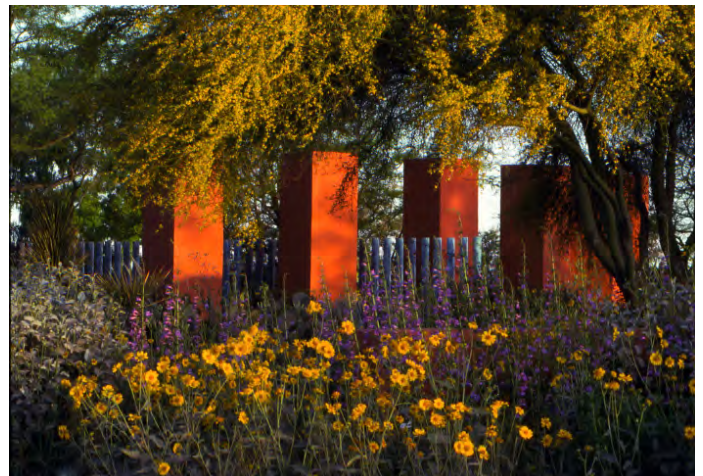
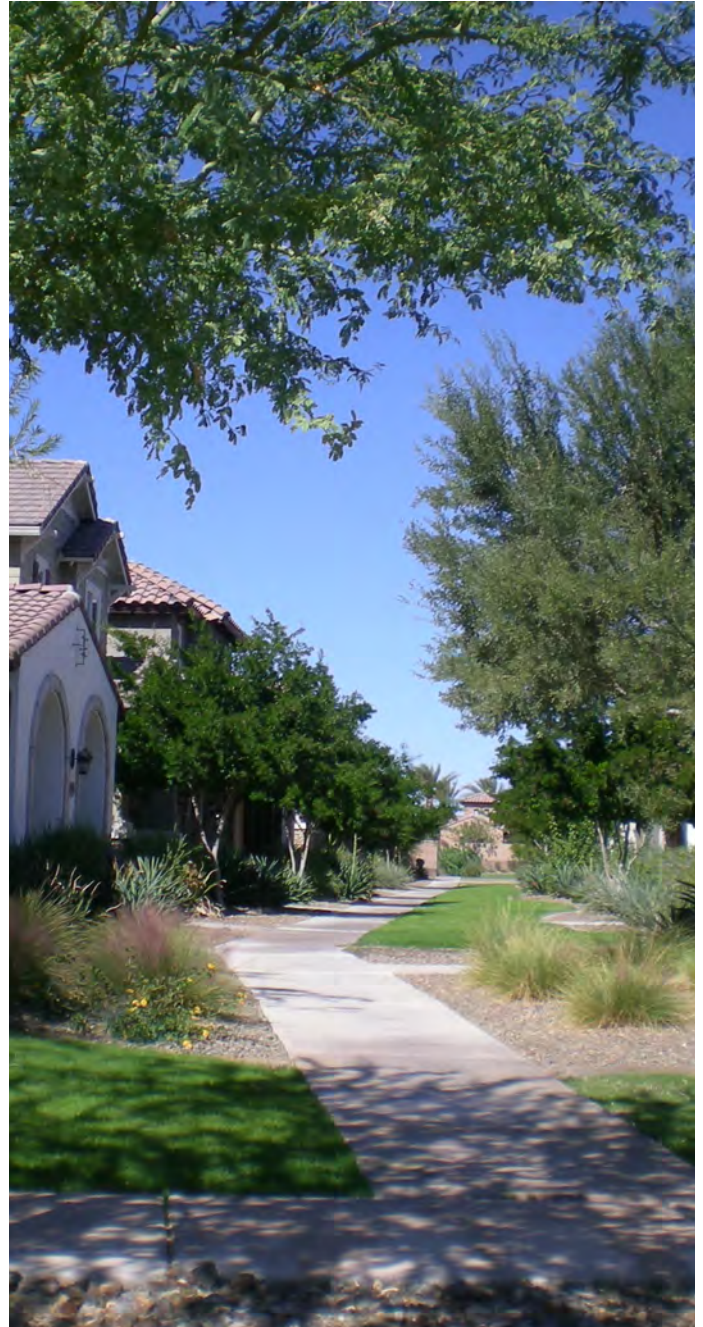
1. The design style identified within the following section of this document is intended to establish an overall theme for the architecture in this development. The sophisticated desert ranch theme provides substantial opportunities for creative varieties, designs, features and elements for every house. Variations of the desert ranch style, appropriate to the variety desired include aspects of the following; Southwest Contemporary Ranch, Territorial Ranch and the Farmhouse Ranch.
2. Design and detailing should be a contemporary interpretation that is appropriately adapted to the desert context.
3. Facades that are visible from public areas shall have special articulation. This shall include four-sided architecture.
4. Design features and conditions will address the issues of garage dominance. See exhibits on pages 74 to 79.
5. A variety of facade materials and textures should be used to provide visual interest to the street scene.
6. The preferred color palette shall provide richness to the development that goes beyond typical muted subdivisions colors. Visual clues from the natural Sonoran desert shall provide the basis for house, features and accent colors.
7. Building mass and form shall transition from one to two story elements where possible and appropriate based on architectural style.
8. Porches, patios and courtyards are encouraged.
9. Front entrances shall exhibit a "human scale."
10. Front entrances shall be distinguished with facade highlights.
11. All property lighting shall be shielded "cut-off" light fixtures and types that conceal the source.
12. Spotlights and floodlight are prohibited.
13. Any and all accessory structures shall be designed to integrate with the main residence.

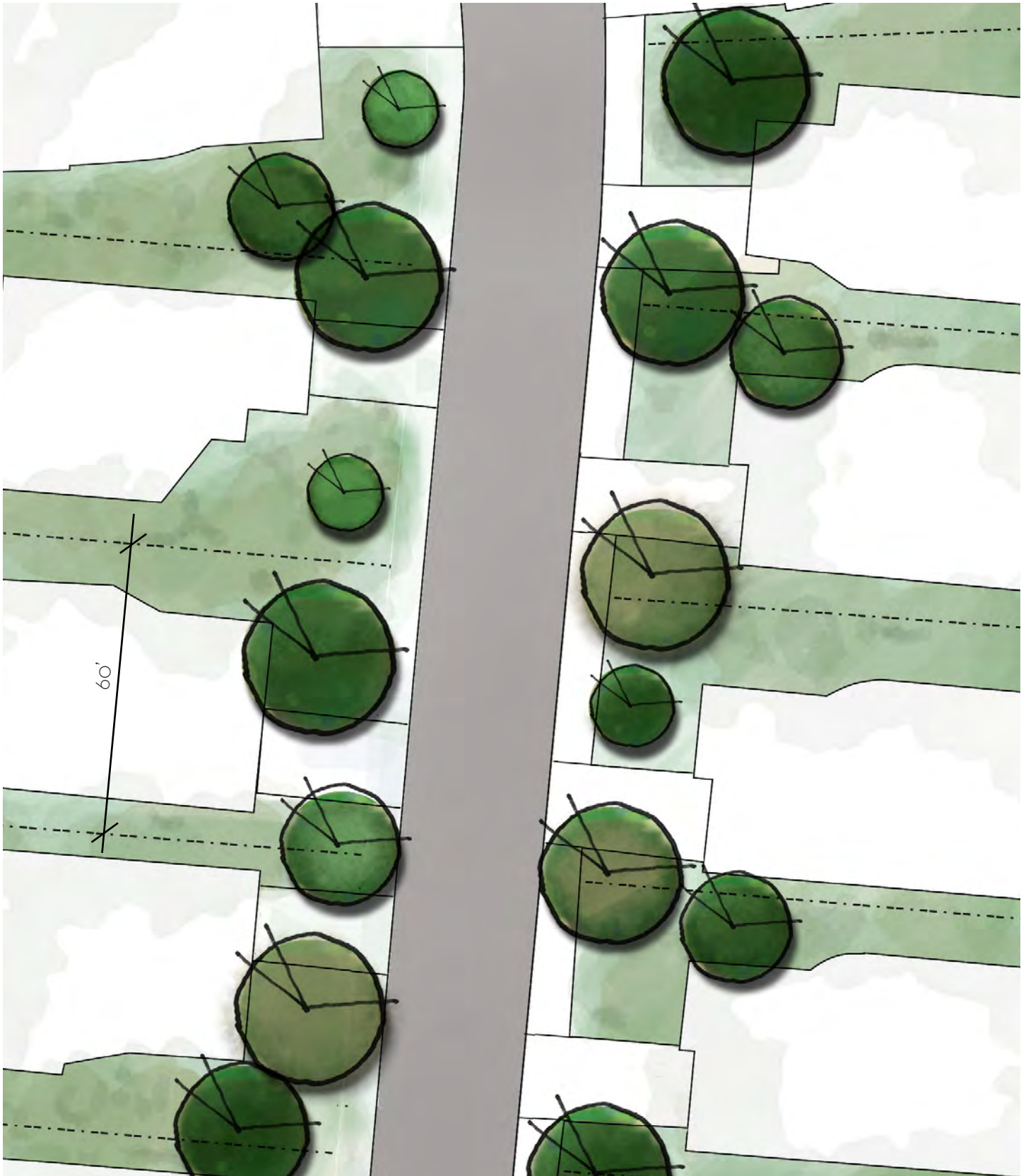
Landscape

This section pertains to the overall standards to the landscape architectural design for all community common areas, private areas and improved areas disturbed during construction. The intent is to create a landscape theme and character for the community that enhances the natural setting of this specific development and to reflect the unique character of the Estrella foothills. Landscape shall be designed to provide visual interest as well as help to create outdoor rooms, and reinforce entrances to the community, the neighborhoods and to specific homes. The landscape character portion of this document provides greater detail on design intent, plant material and use. Special care shall be given to the development edge along Estrella Parkway. The combination of thoughtful land planning, architectural design, new planting and perimeter walls/fences shall be incorporated in a manner that visually enhances the driving experience as one travels south from the property entry (near the Star Tower) to the recently constructed round-a-bout where the Parkway meets Cotton Lane. The conceptual landscape plan on the following page illustrates tree lined streets.

Design Criteria:

1. Preserve the existing landscape to the greatest extent possible.
2. Salvage and replant native vegetation per standards and best management practices.
3. Limit exotic ornamentals and areas of turf to special common areas and or courtyards, etc.
4. Use landscape with functional intent; for visual accent, visual buffer/screen, for shade, etc.
5. Utilize low-water use, arid region, native plants.
6. Focus on creating shade and micro-climatic cool zones.
7. Establish attractive tree-lined streets.
8. Landscape lighting to be low-voltage.
9. All light fixtures to have shielded, concealed light source.
10. Privacy walls and view fences shall be designed within the character of the architecture and community.
11. Jog or offset walls and fences to relieve long unbroken lines (max. length of 900').
12. View fencing shall be provided for lots adjacent to open space;





**CONCEPTUAL LANDSCAPE ILLUSTRATION
FOR TREE LINED STREETS**



12. Architecture

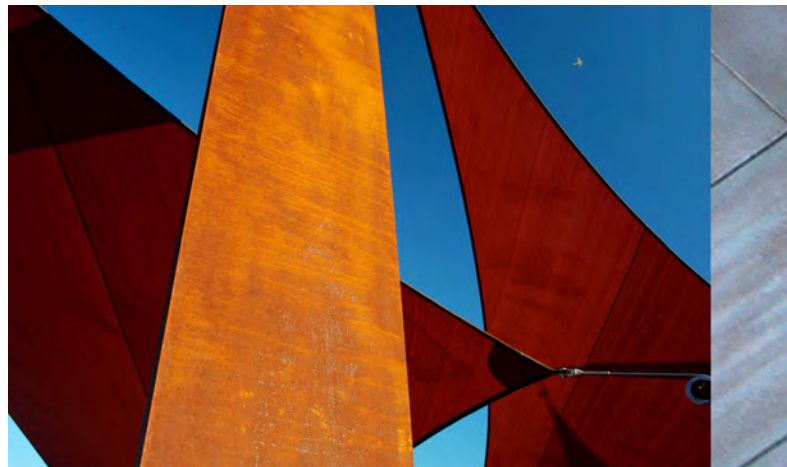
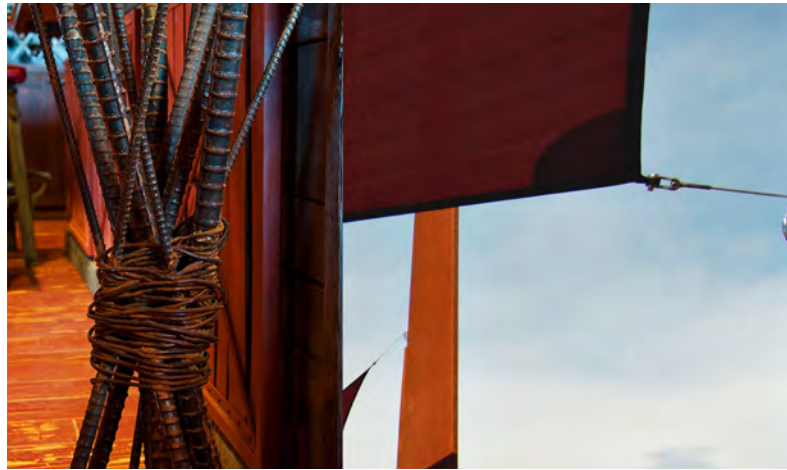
Community Theme and Character

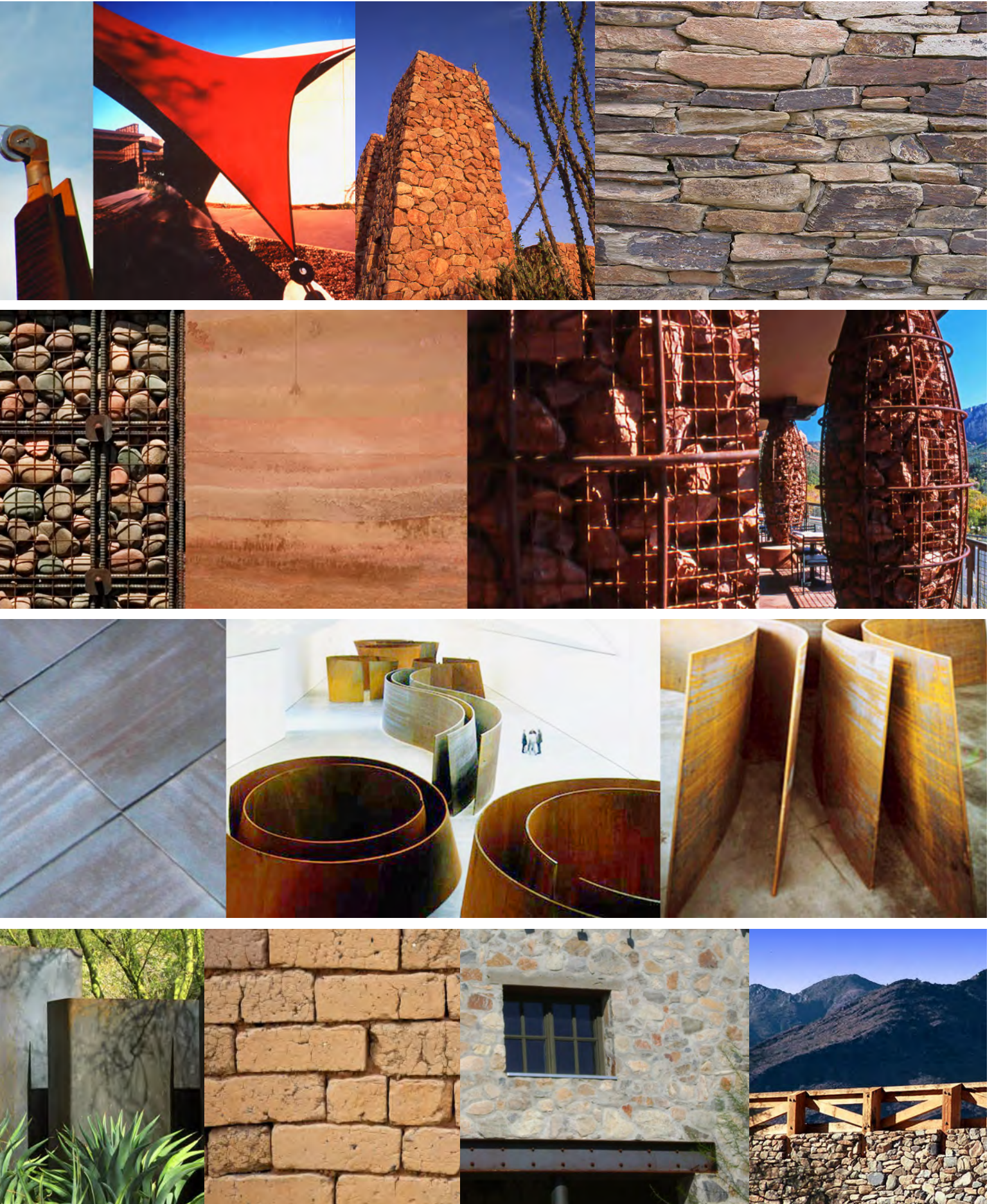
The proposed development provides an opportunity to compliment the overall character of the Estrella Community and to establish a special enhanced quality and theme for development related to the proposed amendment. Because this area represents the “front door” of the Community and also has a very unique setting, Newland is committed to establishing a visual character and theme that celebrates the very best aspects of the desert southwest.

Community features and theming will be organized around as series of materials and desert treatments that take their clues from the adjacent Star Tower. This organic desert theme will look to focus on a range of materials including:

1. RUSTED STEEL
2. NATURAL STONE AND BOULDERS
3. GABIONS

The use of gabions will be limited to the accent of features such as entry monuments and signs. There is no plan to have them as a dominate feaure.
4. RAMMED EARTH
5. BOARD FORM CONCRETE
6. TIMBER
7. PAINTED METAL PANELS
8. WROUGHT IRON
9. SLUMP BLOCK





Features and Elements

The desired design forms, features and elements will be more curvilinear in nature and will focus on an eclectic mix of color, materials and fasteners. Organic shapes and forms will be preferred over more formal and axial oriented treatments and will emphasize a layering effect. Community features to be influenced by this design direction include; signage, culverts, landscape, retaining walls, screen walls, view fences, lighting and paving details, benches and park architecture.

The treatment of the perimeter of the parcel along the length of Estrella Parkway will have a significant impact on the visual character and quality at the Community's front door. The typical nondescript suburban screen wall will not be acceptable in this case. Newland is committed to a perimeter wall system that blends with the natural environment as well as the community architecture. The goal will be to introduce a design for the perimeter walls that creates a visual rhythm that compliments the neighborhood clusters proposed.

This visual rhythm and heightened aesthetic will be accomplished through several factors and features including:

1. INCLUSION OF MATERIALS AND DESIGN TREATMENTS ON WALLS.
2. START AND STOP PERIMETER WALL SYSTEMS IN STRATEGIC LOCALS TO PROVIDE VISUAL RELIEF.
3. TRANSITION WALL TREATMENTS NEAR ENTRY POINTS FROM FORMAL WALLS TO VERTICAL LANDSCAPES.



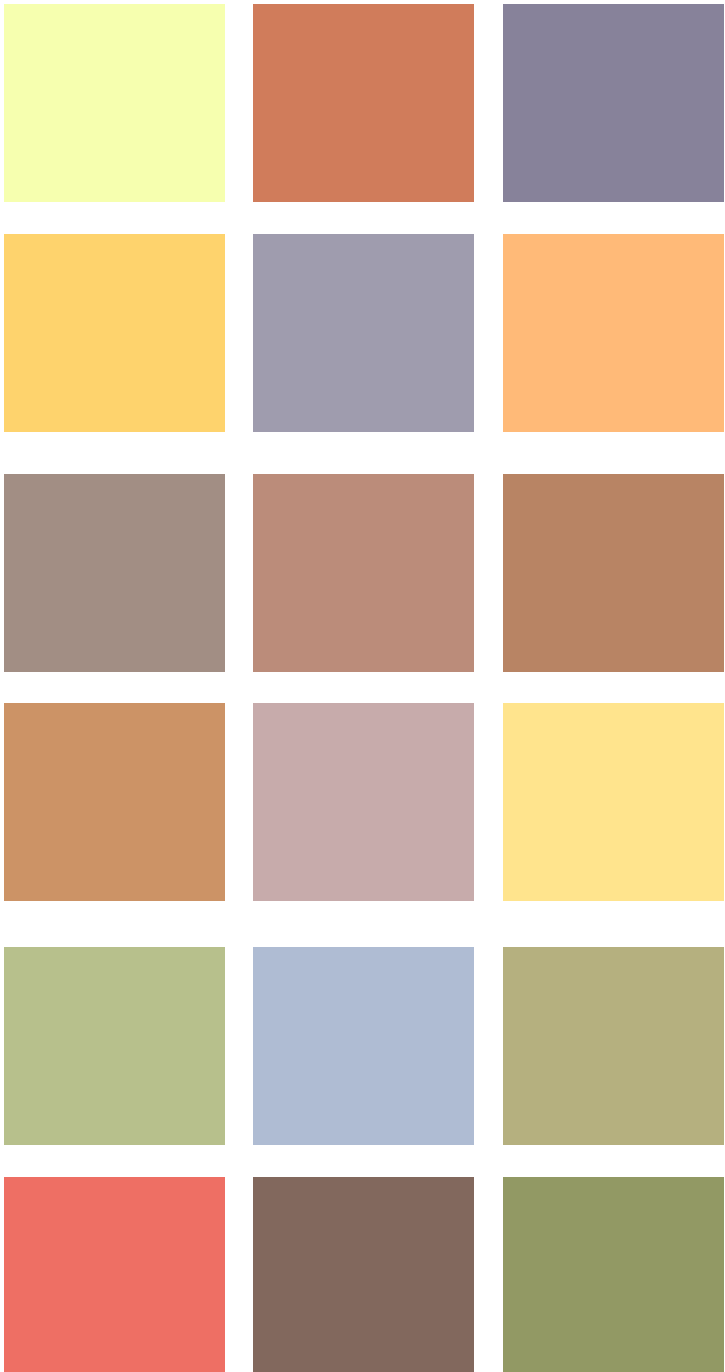


Color Palette

The proposed color palette will take clues from the natural oasis of the Sonoran Desert and the range of highlights and shade & shadow. Particular focus should be given to the vibrant warm range of desert colors visible during the late spring, early summer afternoon and early evening hours.

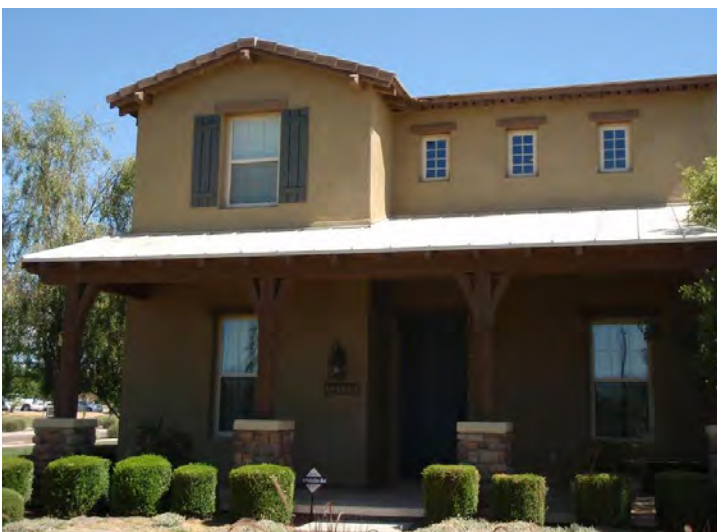
The design intent is to create a careful balance between the following components:

1. Beautiful natural desert setting
2. Special nature of community elements
3. Treatment of architecture
4. Complimenting the existing visual character of Estrella



Architecture Style

The community theming will be complemented by a *sophisticated desert ranch architecture style* that is simplistic in nature and in character with the uniqueness of the parcel. The desert ranch vernacular evolved from eastern and midwestern working farm home designs that were brought to the desert southwest and refined based on the context of sun, shade, wind and the desire for indoor/outdoor living and working environments. Over time the desert ranch house related to working farms and ranch properties became more popularized and civilized for every day 20th and 21st century living. Simple building masses with broad overhangs, pitched roofs and shed roofs provide opportunities for shade and relief. Natural materials of stone, metal and wood provide attractive visual accents and durability. Strategic placement of windows and building orientation provides the opportunity to capture breezes. The layout of rooms in both the front and back provides opportunities to expand the living area with outdoor porches and terraces.



Anatomy of the Estrella Desert Ranch House:

1. The major building mass is anticipated to be simple in form with painted stucco. Colors previously identified with a focus on the composition of the body, highlights and accents.



2. Simple volumes with low open gable roof forms and secondary hip roofs. Dormers in scale with overall roof mass. Accent roof forms to include shed conditions. Generous overhangs and exposed rafter tails. Shutters and awnings to be used as special highlight and may include metal, clay tile, and or fabric.



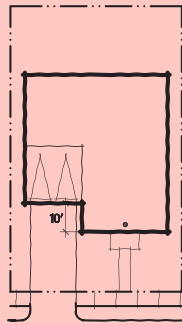
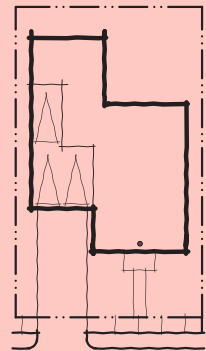
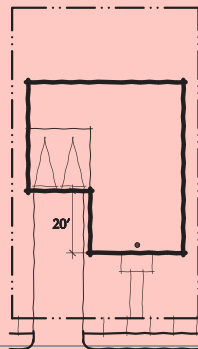
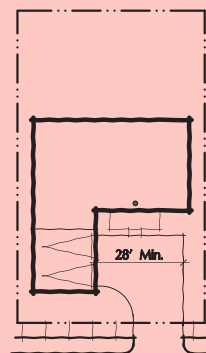
3. Facade accents with stone/ clay brick/ adobe or metal clapboard (if cultured materials are approved, treatment must turn full corners in order to end on an interior side). Discourage any final conditions that highlights “floating” stone pier treatment.



4. Doors and windows with insets, dark trim and strong sill base. Iron accents and insets where appropriate.



5. Garages designed to blend in with the character of the home with deep recesses, (Typical eight inch (8") minimum with the potential for greater depth) overhangs and special carriage door treatments. Extreme care to limit garage dominate street scenes. Homes with front loaded, continuous three-car garages shall be designed so that the third car garage is architecturally separated and offset a minimum of two (2) feet farther from the other garage door.

*Mid-Recessed**Tandem**Deep Recessed**Swing-In*

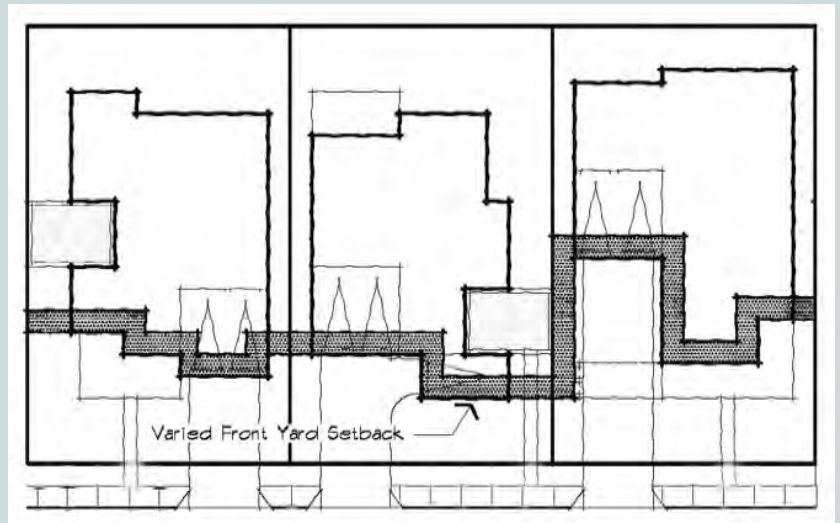
Note: The same care and sensitivity to garage placement, orientation and treatment shall be given to the design of duplexes, triplexes, townhomes, etc.



Several design techniques can be utilized to limit the visual impact of garage doors on the street scene including; color, driveway pavers, shade & shadow, landscape, and door facade treatment. Unit pavers will not be a specific requirement.

Signature Streets

In addition to the range of neighborhood planning elements that have been articulated to prevent typical subdivision sprawl, several design strategies shall be utilized to combat garage dominant street scenes. Together, these strategies add up to the creation of Signature Streets for each series of neighborhoods in the planned development. The focus is not based on the need or requirement of greater side yard setbacks, but on the inclusion of several design features that help to articulate a special nature of each neighborhood- like the unique nature of every individual's signature.



VARIED FRONT YARD SETBACK

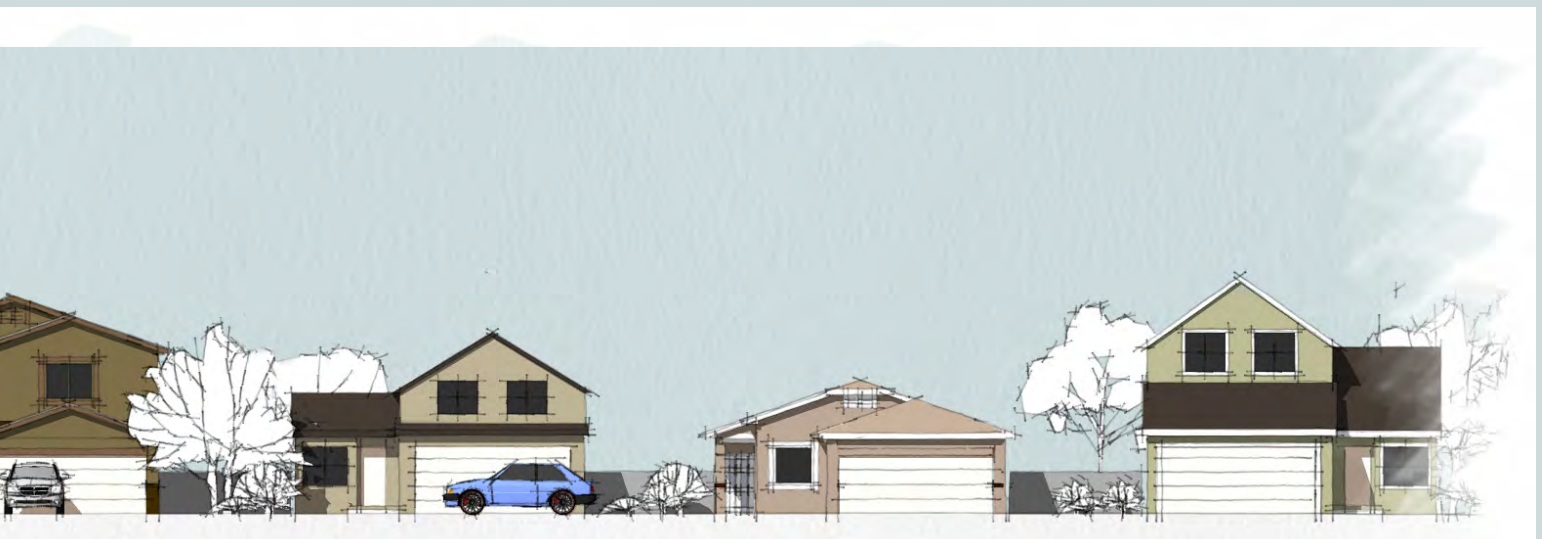


The strategy includes the following:

- Variety of house models and a range of elevations for each that are carefully placed to limit repetition on the street scene, (minimum of three floor plans and three elevations for each builder product line.)
- Careful siting of single story and two story units to create interesting articulation and massing of the street scene.
- Variety of front yard setbacks that allows a more interesting street scene. (See plan sketch on previous page)
- Broad and complementary range of colors to limit the typical suburban repetition.
- Carriage doors and other special treatment of garages that provide a more attractive look.
- Recessed garages that incorporate shade and shadow with a minimum of typical depth between garage door and adjacent building elevation of eight inches (8") with the potential for greater variation.
- Incorporation of an abundance of landscape along the street edge to provide shade, comfort and visual appeal.



6' x 6' SETBACK TYPICAL ELEVATION



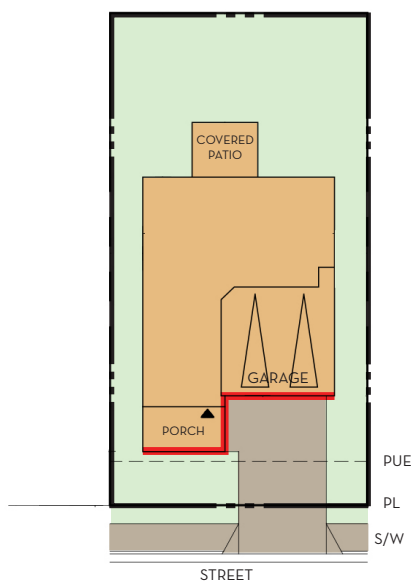
10' & 5' SETBACK TYPICAL ELEVATION

Garage Placement

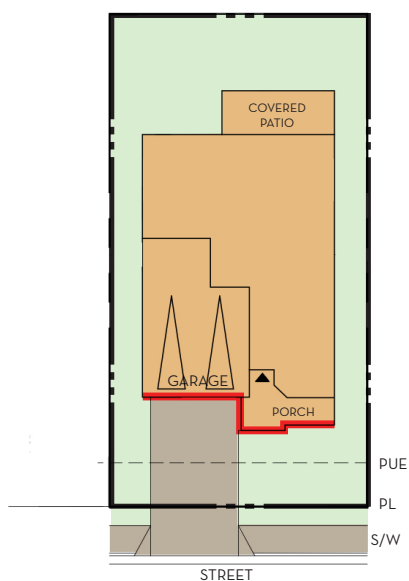
Design Requirements and Example Layouts:

- De-emphasize the garage and emphasize the living areas of the house.
- Include a variety of house models and a range of elevations for each that are carefully placed to limit repetition on the street scene.
- Provide variety of front yard setbacks that allows a more interesting and diverse street scene.
- Design recessed garages that incorporate shade and shadow with a minimum of typical depth between garage door and adjacent building elevation of eight Inches (8") with the potential for greater variation.

47'X90' LOT (For reference only based on other Phoenix project examples. Lots may be utilized for 1 & 2 story product).



35'X42' PRODUCT - 2 STORY
2,392 SF - 4 BED/ 2.5 BATH - 2 CAR GARAGE



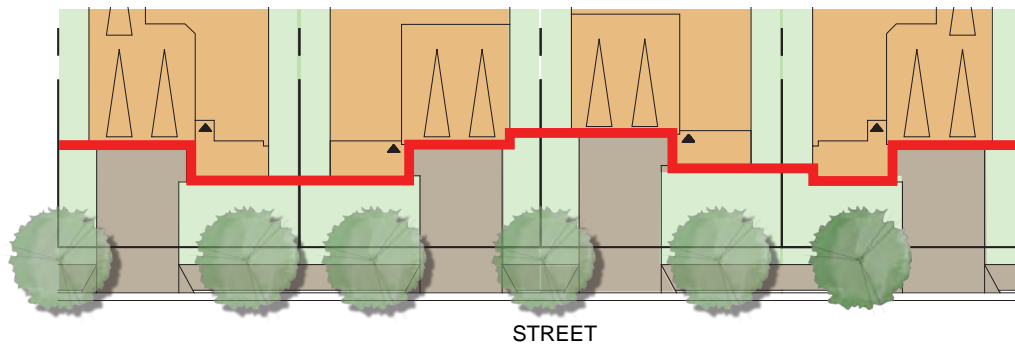
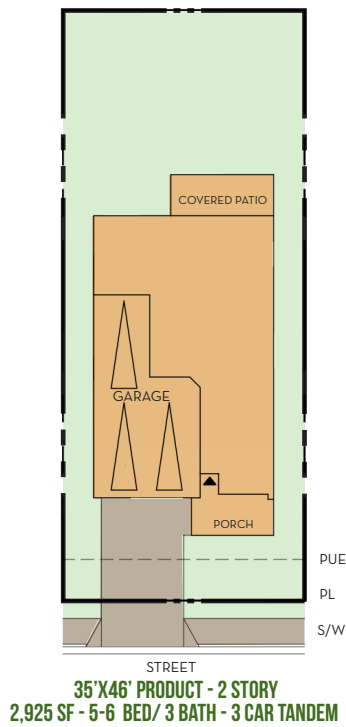
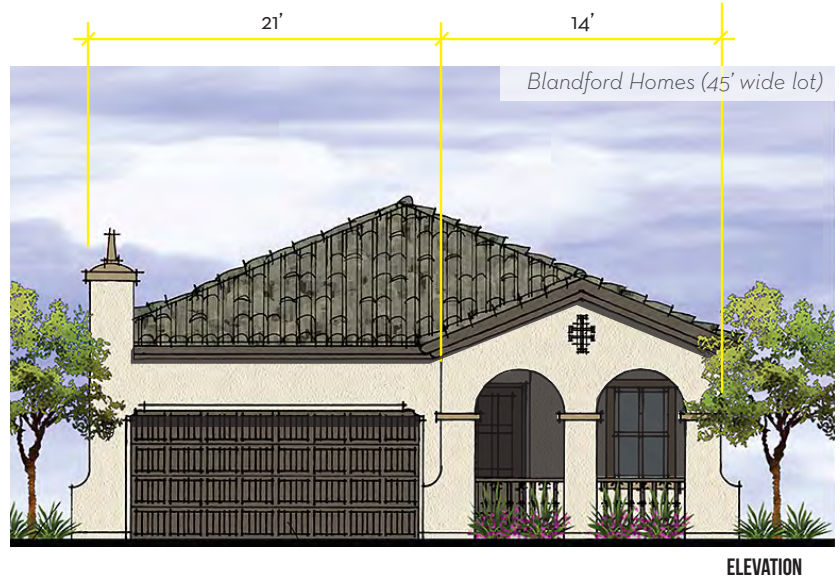
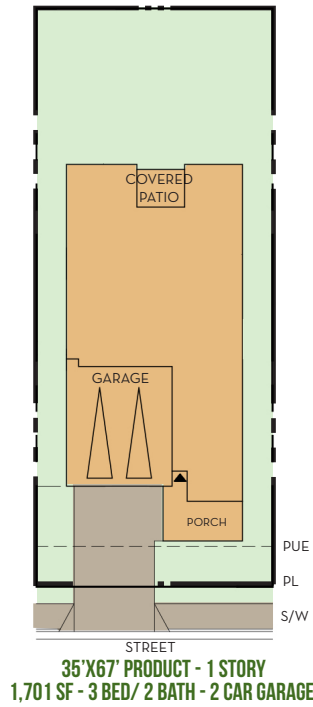
35'X48' PRODUCT - 2 STORY
2,516 SF - 4 BED/ 3 BATH - 2 CAR GARAGE



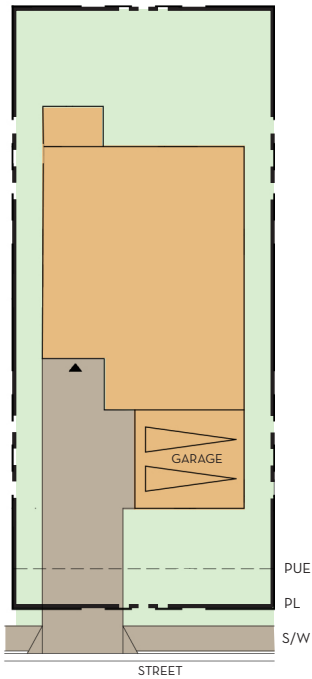


Lennar Homes (35' wide product)

45'X115' LOT (For reference only based on other Phoenix project examples. Lots may be utilized for 1 & 2 story product).



52'X 120' LOT (For reference only based on other Phoenix project examples. Lots may be utilized for 1 & 2 story product).

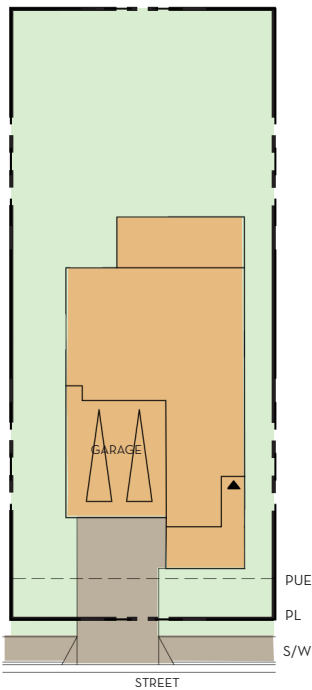


40'X72' PRODUCT - 1 STORY
1,742 SF - 3 BED/ 2 BATH - 2 CAR GARAGE



SWING-IN GARAGE

Ryland Homes (50' wide lot)

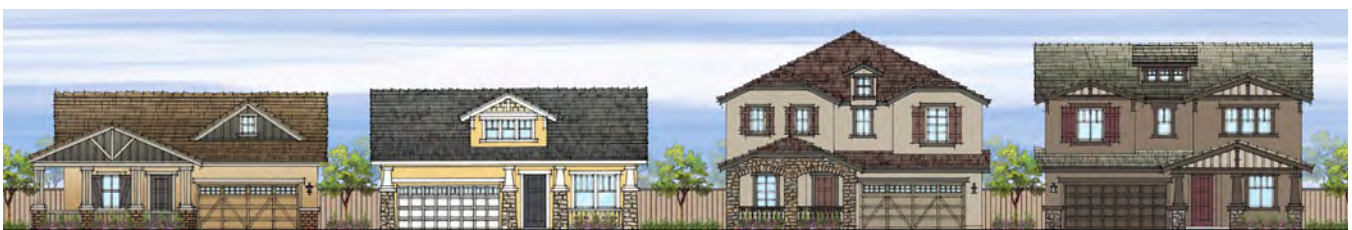


35'X51' PRODUCT - 2 STORY
2,800 SF - 4 BED/4.5 BATH - 2 CAR GARAGE



RECESSED GARAGE

Ryland Homes (50' wide lot)



BLANDFORD HOMES - STREETSCENE

Color

LENNAR HOMES (45' WIDE LOT) *(For reference only based on other Phoenix project examples)*



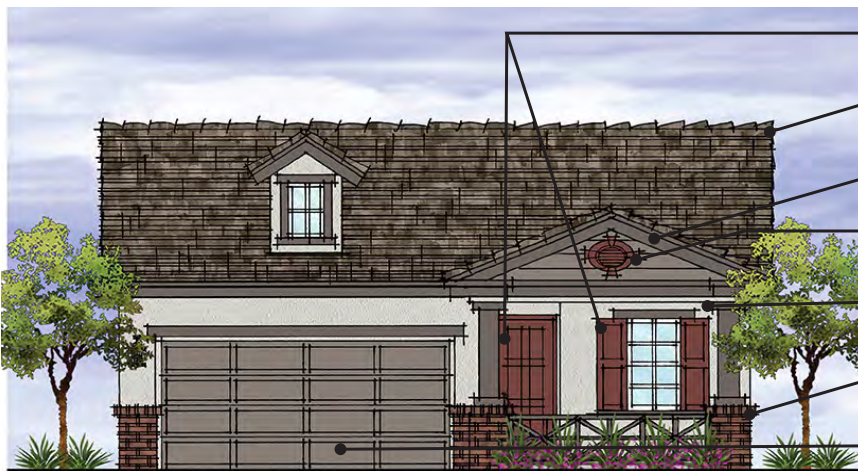
- SHUTTERS & FRONT DOOR: CONTRASTING COLOR
- ROOF TILE: COMPLIMENTS PAINT SCHEME
- FASCIA & TRIM : NEUTRAL OR HIGHLY CONTRASTING COLOR
- MAIN BODY: NEUTRAL COLOR
- GARAGE: DARKER COLOR APPEAR FURTHER RECESSED AND LESS OBSTRUCTIVE

RYLAND HOMES (50' WIDE LOT) *(For reference only based on other Phoenix project examples. Lots may be utilized for 1 & 2 story product)*



- ROOF TILE: COMPLIMENTS PAINT SCHEME
- SHUTTERS & FRONT DOOR: CONTRASTING COLOR
- FASCIA & TRIM : NEUTRAL OR CONTRASTING COLOR
- MAIN BODY: WARM OR NEUTRAL COLOR
- GARAGE: DARKER COLOR APPEAR FURTHER RECESSED AND LESS OBSTRUCTIVE

BLANDFORD HOMES (45' WIDE LOT) *(For reference only based on other Phoenix project examples. Lots may be utilized for 1 & 2 story product)*



- SHUTTERS & FRONT DOOR: CONTRASTING COLOR
- ROOF TILE: COMPLIMENTS PAINT SCHEME
- FASCIA & TRIM : NEUTRAL OR HIGHLY CONTRASTING COLOR
- ACCENT COLOR OR MATERIAL FOR ARCH. DETAILS AND FEATURES
- MAIN BODY: WARM OR NEUTRAL COLOR
- ACCENT COLOR OR MATERIAL FOR ARCH. DETAILS AND FEATURES
- GARAGE: DARKER COLOR APPEAR FURTHER RECESSED AND LESS OBSTRUCTIVE

Details and Accent Features

Design Requirements and Example Layouts:

- Accent materials to reinforce the architectural theme and style.
- Accent materials should complement the overall color scheme.

General Elements:

- Accent materials and features
 - » Exterior lighting
 - » Arch. elements
- Color
- Doors

ACCENT MATERIALS AND FEATURES *(For reference only based on other Phoenix project examples. Lots may be utilized for 1 & 2 story product).*



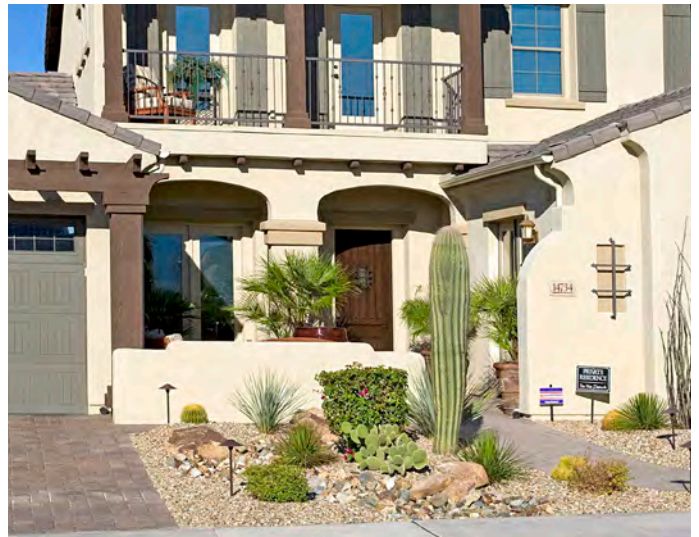
COLOR *(For reference only based on other Phoenix project examples. Lots may be utilized for 1 & 2 story product).*



DOORS *(For reference only based on other Phoenix project examples. Lots may be utilized for 1 & 2 story product).*



6. Perimeter walls and view fences in character with the homes in a simplified manner. Two story homes to have a single story element closest to the front of the house and/ or next to the street. See graphic examples on page 74 for design intent of varied setbacks.





7. Generous native landscape palette with an emphasis on street tree planting for shade, visual appeal and character. View walls will be used wherever possible to create the feel of uninterrupted open space and will be required for homes backing to open space unless there is an issues with headlight intrusion or other privacy related condition.



These specific elements will be complimented by a Signature Streets Program that looks to carefully orchestrate the street scene by varying house plans, house design models, color palettes and a generous tree and front yard planting palette. Based on our extensive study of communities across the Valley and Southwest, additional side yard setbacks don't provide for an enhanced street scene. The commitment to attractive neighborhoods includes the several components previously identified.



13. Landscape Architecture

Overall Theme and Character

The overall landscape strategy for the parcel and associated development will be to celebrate the beautiful setting and compliment any and all new construction with a generous landscape treatment that puts emphasis on the outdoors. The native palette of trees, shrubs and groundcovers will be utilized to establish a strong link to the natural setting. Like the early neighborhood fabric of downtown Phoenix near the turn of the 19th century, tree planting will be utilized to create the major form of street systems and neighborhood layout. The building forms and architectural styles should compliment the landscape form and structure, rather than the typical scenario where landscape is often left to an afterthought.



Neighborhood landscape character



Early map of Phoenix with reference to the "Garden City"

LANDSCAPE TREATMENTS

The existing native Sonoran Desert landscape condition of Estrella Lucero is an invaluable intrinsic asset and should be preserved, maintained, and enhanced to define the unique character of this new community. While preservation is a primary concern, the proposed comprehensive landscape strategy ensures a unified aesthetic while seamlessly blending new construction, signage, walls, and entry features with the surrounding native desert.

The Community Comprehensive Landscape Strategy is comprised of three primary landscape treatments; native, transitional, and enhanced. Each treatment maintains its own identity and consistency of character while sharing plant species and design elements to create smooth transitions between landscape zones. These differing treatments are designed to both promote preservation and allow homeowners flexibility in personal aesthetic within their respective lots while maintaining a unified theme.



LANDSCAPE ZONE MAP

NATURAL LANDSCAPE ZONE



Plants in these zones occur naturally in and around Estrella and embody the native character of the local Sonoran Desert. The natural landscape zone is for areas that are either set aside as preserved open space or are disturbed during construction and re-vegetated to their original condition. Special consideration should be given to the specific habitat in which these plants are typically found. There are two main habitats found within Estrella; Sonoran Desert Scrub (upland foothill areas) and Sonoran Xeroriparian Scrub (desert washes that flood during periods of rain).



NATURAL ZONE PLANT LIST

TREES

Botanical Name	Common Name	Average Mature Size (HxW)
Acacia farnesiana	Desert Sweet Acacia	20x20
Olneya tesota	Ironwood	30x30
Parkinsonia	Blue Palo Verde	35x30
Parkinsonia microphyllum	Foothill Palo Verde	20x20
Parkinsonia praecox	Palo Brea	20x20
Prosopis alba	Argentine Mesquite	30x20
Prosopis chilensis	Chilean Mesquite	30x20
Prosopis velutina	Velvet Mesquite	30x20
Prosopis pubescens	Screwbean Mesquite	20x20
Salix goodingii	Gooding Willow	30x30

SHRUBS

Botanical Name	Common Name	Size (HxW)
Ambrosia deltoidea	Triangle Leaf Bursage	
Atriplex canescens	Four-wing Saltbrush	
Atriplex lentifolius	Quilbush	
Calliandra eriophylla	Pink Fairy Duster	3x4
Cassia wislizenii	Shrubby Cassia	10x6
Dalea pulchra	Pea Bush	5x5
Dodonaea viscosa	Hop Bush	12x10
Encelia farinosa	Brittlebush	3x4
Ericameria laricifolia	Turpentine Bush	2x2
Fouquieria splendens	Ocotillo	20x15
Hymenoclea monogyra	Burrobrush	
Hymenoclea salsola	Cheesebrush	
Justicia californica	Chuparosa	6x6
Larrea tridentata	Creosote Bush	8x6
Lycium fremontii	Wolfberry	
Pluchea purpurascens	Arrowweed	
Sphaeralcea ambigua	Desert Globemallow	3x3

Note: All proposed trees in the right of way per the City's approved plant list and all planting in the right of ways per the ADWR low water use plant list.

ACCENTS

<u>Botanical Name</u>	<u>Common Name</u>
<i>Asclepias subulata</i>	Desert Milkweed
<i>Carnegiea gigantea</i>	Saguaro
<i>Dasyliirion wheeleri</i>	Desert Spoon
<i>Echinocereus engelmannii</i>	Strawberry Hedgehog Cactus
<i>Ferocactus acanthodes</i>	Compass Barrel
<i>Ferocactus cylindraceus</i>	Barrel Cactus
<i>Opuntia acanthocarpa</i>	Buckhorn Cholla
<i>Opuntia basilaris</i>	Beavenail Prickly Pear
<i>Opuntia phaeacantha</i>	Engelmann's Prickly Pear
<i>Penstemon eatonii</i>	Firecracker Penstemon
<i>Penstemon parryi</i>	Parry's Penstemon
<i>Penstemon pseudospectabilis</i>	Canyon Penstemon
<i>Penstemon superbus</i>	Superb Penstemon

GROUNDCOVERS/FLOWERS

<u>Botanical Name</u>	<u>Common Name</u>
<i>Baileya multiradiata</i>	Desert Marigold
<i>Cryptantha</i> sp.	Pick-me-not
<i>Dyssodia pentachaeta</i>	Golden Fleece
<i>Melampodium leucanthum</i>	Blackfoot Daisy
<i>Oenothera caespitosa</i>	White Evening Primrose
<i>Palafoxia arida</i>	Desert Palafox
<i>Stephanomeria pauciflora</i>	Desert Straw
<i>Zinnia grandiflora</i> Prairie	Zinnia

TRANSITIONAL LANDSCAPE ZONE

Plants in the Transitional Zone are both native and adapted to the arid landscape in and around Estrella. Transition Zone plantings are appropriate for trails, streets, perimeter of residential lots, and open spaces. Transition plantings blend the native and enhanced zones. Plantings should be a gradient from native conditions to a more embellished treatment. The Transition Zone Plant List shall also include all plants found on the Natural Zone Plant List.



TRANSITION ZONE PLANT LIST

TREES

<u>Botanical Name</u>	<u>Common Name</u>
<i>Acacia aneura</i>	Mulga
<i>Acacia stenophylla</i>	Shoestring Acacia
<i>Pithecellobium flexicaule</i>	Texas Ebony
<i>Sophora secundiflora</i>	Mescal Bean
<i>Vauquellina californica</i>	Arizona Rosewood

SHRUBS

<u>Botanical Name</u>	<u>Common Name</u>
<i>Caesalpinia gilliesii</i>	Desert Bird of Paradise
<i>Caesalpinia pulcherrima</i>	Red Bird of Paradise
<i>Calliandra californica</i>	Baja Red Fairy Duster
<i>Cassia artemisioides</i>	Feathery Cassia
<i>Cassia candolleana</i>	Cassia
<i>Cassia nemophila</i>	Desert Cassia
<i>Cassia phyllodenia</i>	Silver leaf Cassia
<i>Cordia parvifolia</i>	Little-leaf Cordia
<i>Dodonaea viscosa</i> 'purpurea'	Purple Hop Bush
<i>Justica spicigera</i>	Mexican Honeysuckle
<i>Lantana camara</i>	Lantana
<i>Leucophyllum candidum</i>	Cenizo
<i>Leucophyllum frutescens</i>	Texas Sage
<i>Leucophyllum laevigatum</i>	Chihuahuan Sage
<i>Ruellia peninsularis</i>	Baja Ruellia
<i>Salvia chamaedryoides</i>	Mexican Blue Sage
<i>Salvia clevelandii</i>	Chaparral Sage
<i>Salvia greggi</i>	Autumn Sage
<i>Simmondsia chinensis</i>	Jojoba
<i>Tecoma stans</i> 'angustata'	Arizona Yellow Bells

ACCENTS

<u>Botanical Name</u>	<u>Common Name</u>
Agave americana	American Agave
Agave colorata	Mescal Ceniza
Agave parryi	Perry's Agave
Agave vilmoriniana	Octopus Agave
Agave huachuchensis	Huachuca Agave
Agave murpheyi	Hohokam Agave
Agave palmeri	Palmer's Agave
Agave schottii	Amole
Aloe berbadensis	Medicinal Aloe
Aloe ferox	Tree Aloe
Cereus hildmannianus	Hildmann's Cereus
Echinocactus grusonii	Golden Barrel
Echinopsis multiplex	Easter Lily Cactus
Hesperaloe parvifolia	Red Yucca
Lophocoeus schottii 'monstrosus'	Totem Pole Cactus
Muhlenbergia rigens	Deer Grass
Opuntia ficus-indica	Indian Fig
Opuntia violacea 'santarita'	Purple Prickly Pear
Stenocereus marginatus	Mexican Organ Pipe
Yucca aloifolia	Spanish Bayonet
Yucca baccata	Banana Yucca
Yucca brevifolia	Joshua Tree
Yucca elata	Soaptree Yucca
Yucca rigida	Blue Yucca

GROUNDCOVERS / FLOWERS

<u>Botanical Name</u>	<u>Common Name</u>
Dalea greggii	Trailing Indigo Bush
Lantana montevidensis	Trailing Lantana
Myoporum parvifolium	Prostrate Myoporum
Oenothera berlandieri	Mexican Evening Primrose
Verbena pulchella	Moss Verbena
Verbena rigida	Sandpaper Verbena

VINES

<u>Botanical Name</u>	<u>Common Name</u>
Bougainvillea brasiliensis	Bougainvillea
Macfadyena unguis-cati	Cat's Claw Vine
Merremia aurea	Yellow Morning Glory Vine

ENHANCED LANDSCAPE ZONE

Enhanced landscape zones are areas immediately surrounding new development and are intended to be a refined but adapted treatment of the Sonoran Desert. Enhanced zones are typically located on roadways, parks, and community entries as well as residential landscapes and community features. Variation in treatment, style and aesthetic are encouraged to compliment the specific character of a home while maintaining the overall theme of the community. Enhanced Zones shall also include all plants found on the Natural and Transition Zone Plant Lists.



ENHANCED ZONE PLANT LIST

TREES

<u>Botanical Name</u>	<u>Common Name</u>
Acacia abyssinica	Abyssinian Acacia
Acacia salicina	Willow Leaf Acacia
Acacia willardiana	Palo Blanco
Caesalpinia cacalaco	Cascalote
Chilopsis linearis	Desert Willow
Leucaena retusa	Golden Ball Lead Tree
Lysiloma microphylla 'watsonii'	Desert Fern
Prosopis glandulosa	Honey Mesquite
Ulmus parvifolia	Chinese Elm
Vitex agnus-castus	Chaste Tree

SHRUBS

<u>Botanical Name</u>	<u>Common Name</u>
Caesalpinia mexicana	Mexican Bird of Paradise
Cordia boissieri	Anachuita
Pyracantha coccinea	Firethorn
Rosmarinus officinalis	Rosemary
Salvia coccinea	Tropical Sage
Salvia farnacea	Mealy Cup Sage
Salvia leucantha	Mexican Bush Sage
Tagetes lemmonii	Copper Canyon Daisy

ACCENTS

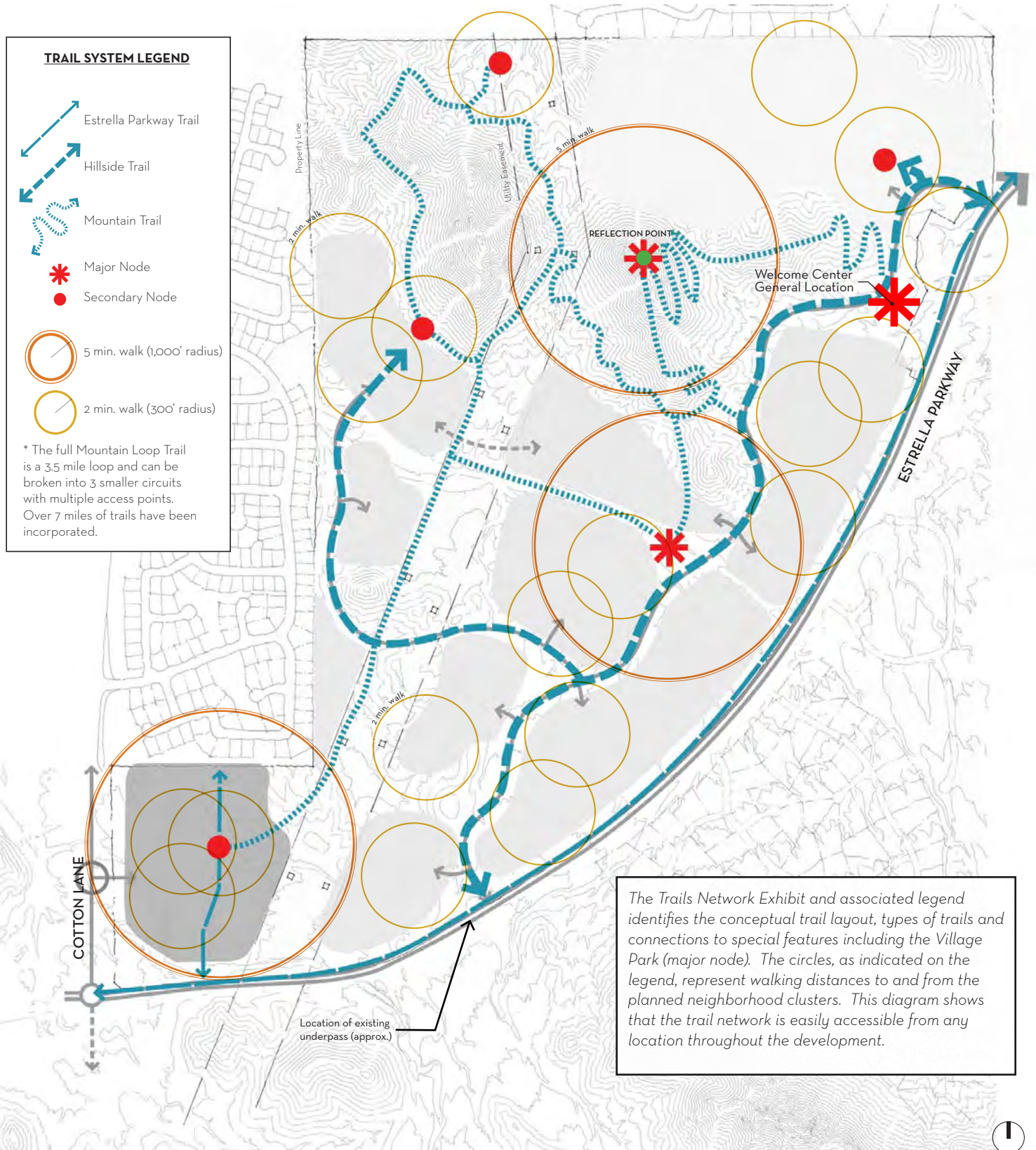
<u>Botanical Name</u>	<u>Common Name</u>
Asparagus densiflorus 'myers'	Foxtail Fern
Cycas revoluta	Sago Palm
Dietes bicolor	Fortnight Lily
Trichocereus candicans	Argentine Cactus
Trichocereus huasha	Red Torch Cactus

GROUNDCOVERS / FLOWERS

Botanical Name	Common Name	Size (HxW)
<i>Aquilegia chrysantha</i>	Golden Columbine	3'x3'
<i>Cynodon sp. hybrids</i>	Hybrid Bermuda Grass Sod	Solid sod
<i>Gazania rigens</i>	Gazania	6"x12"
<i>Oenothera caespitosa</i>	White Evening Primrose	1'x2'
<i>Rosmarinus prostratus</i>	Prostrate Rosemary	2'x4'
<i>Stachys coccinea</i>	Texas Betony	1'x2'
<i>Verbena gooddingii</i>	Goodding's Verbena	1'x3'
<i>Verbena peruviana</i>	Peruvian Verbena	8"x3'
<i>Zauschneria californica</i>	Hummingbird Trumpet	1'x4'

VINES

Botanical Name	Common Name	Size (HxW)
<i>Antigonon leptopus</i>	Coral Vine	40'
<i>Campsis radicans</i>	Trumpet Creeper	40'
<i>Podranea ricasoliana</i>	Pink Trumpet Vine	20'
<i>Rosa banksiae</i>	Lady Bank's Rose	20'



TRAILS NETWORK

14. Trails and Open Space

Celebration of Open Space

Newland Communities has been committed over the years to providing access throughout the Estrella Community with an extensive paths and trails system. The community plan and associated built environment at Estrella provides ample opportunities to access both community amenities and the beautiful native desert setting. As new villages, neighborhoods and developments come on line, additional paths and trails will be introduced that provide greater connectivity for all residents to enjoy. For the proposed amendment, the paths and trail system was a major component in the overall organization of the land and proposed program. Because of the special nature of this land area, Newland understands the strong desire to create an indoor/ outdoor environment for all to enjoy. The circles on the trails network exhibit to the left show the walking distances from every neighborhood to access the paths and trails network. Strategic location of the system of pedestrian routes has resulted in convenient access from anywhere in the development. The goal is to provide easy access with several alternative routes for all residents to enjoy the beautiful outdoors. As part of the proposed pedestrian circulation strategy, a hillside trail is proposed on the northwest side of the main Village Drive. This route serves as the major backbone of trail circulation throughout this area. The mountain trail provides an additional route in more naturalized areas. Major trail nodes have been identified at the Village Park and at Reflection Point. These locations may have key signage, trail information, seating, etc. Mountain trails to be 18" to 24" wide of natural desert pavement. Hillside Trail (at collector street) to be 8' wide concrete pavement (one side). Local streets to have 5' concrete sidewalks (one side)

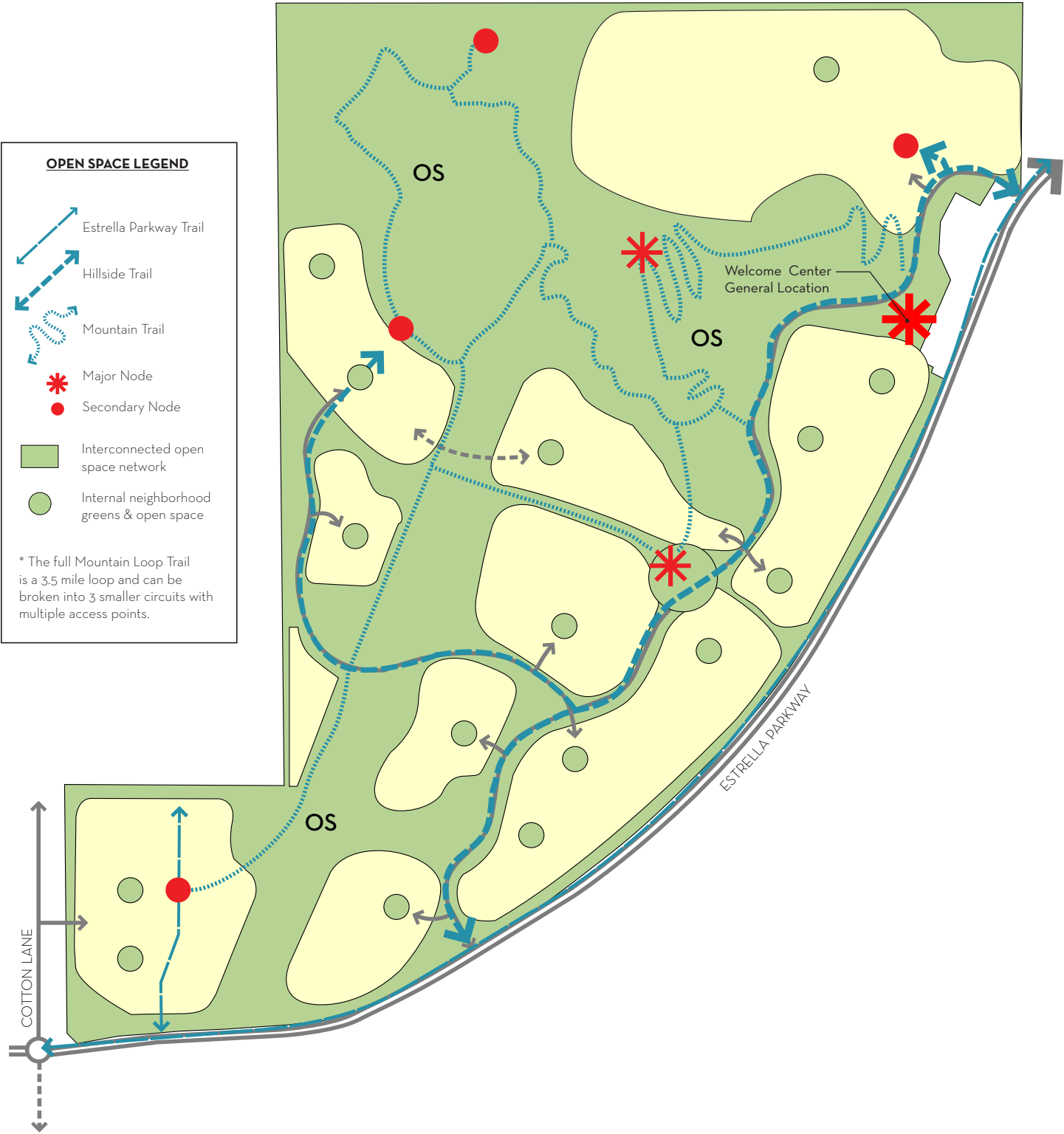
Integrated Trail System

The network of circulation will carefully link to existing paths and trails in order to maintain pedestrian circulation to the entire Estrella community. The trail system will link to the Estrella Parkway trail and the existing underpass.

Reflection Point

The highest point on the property has been identified for a respite along the mountain trail. This spot has dramatic 360 degree views. Adjacent, natural boulders will be carefully adjusted to provide an informal sitting area. The exhibit on the following page shows in green, the extent of open space proposed in the overall planning strategy.





OPEN SPACE FRAMEWORK



15. Parks

Relationship to Open Space

The framework of development within the proposed amendment has been described as a series of clustered neighborhoods carefully integrated within the unique setting of naturalized desert open space. The goal is to minimize the impacts to the natural setting in order to preserve open space and integrate it with the series of paths and trails.

Village Park

A Village Park of approximately 3 acres compliments the significant amount of preserved open space identified. The park is centrally located and provides safe and functional access for all community members. The park is designed to integrate with the major wash corridors that bisect the parcel. It is adjacent to Village Drive and is planned to include a multi-use lawn area as well as a shade structure that provides an opportunity for iconic park architecture. The desire is to provide an outdoor living room for residents and guests. Gardens, terraces, tot-lot, pathways, informal play, modest water feature, sitting areas, and fireplace have been integrated into the park design. The design, features and components of the park will compliment the overall community character and theme.

Any play structure or tot lot shall have a City-approved shade structure over the play equipment.





Neighborhood Green

In addition to the abundance of open space and Village Park, the planning framework also includes a series of neighborhood greens. These critical pieces of special open space have been strategically located and oriented for maximum value and exposure within each neighborhood. Not intended to be another layer of park program, the greens are intended to provide additional open space relief in each neighborhood. The plan for these areas is to highlight the neighborhood brand and identity and include accents of lush grass, perimeter native desert plantings and a minor sitting area. The intent is to provide a passive area of manicured open space that each neighborhood can embrace as their own. Neighborhood greens may be designed as landscaped depressions that, in part, will capture and retain their own storm water runoff.





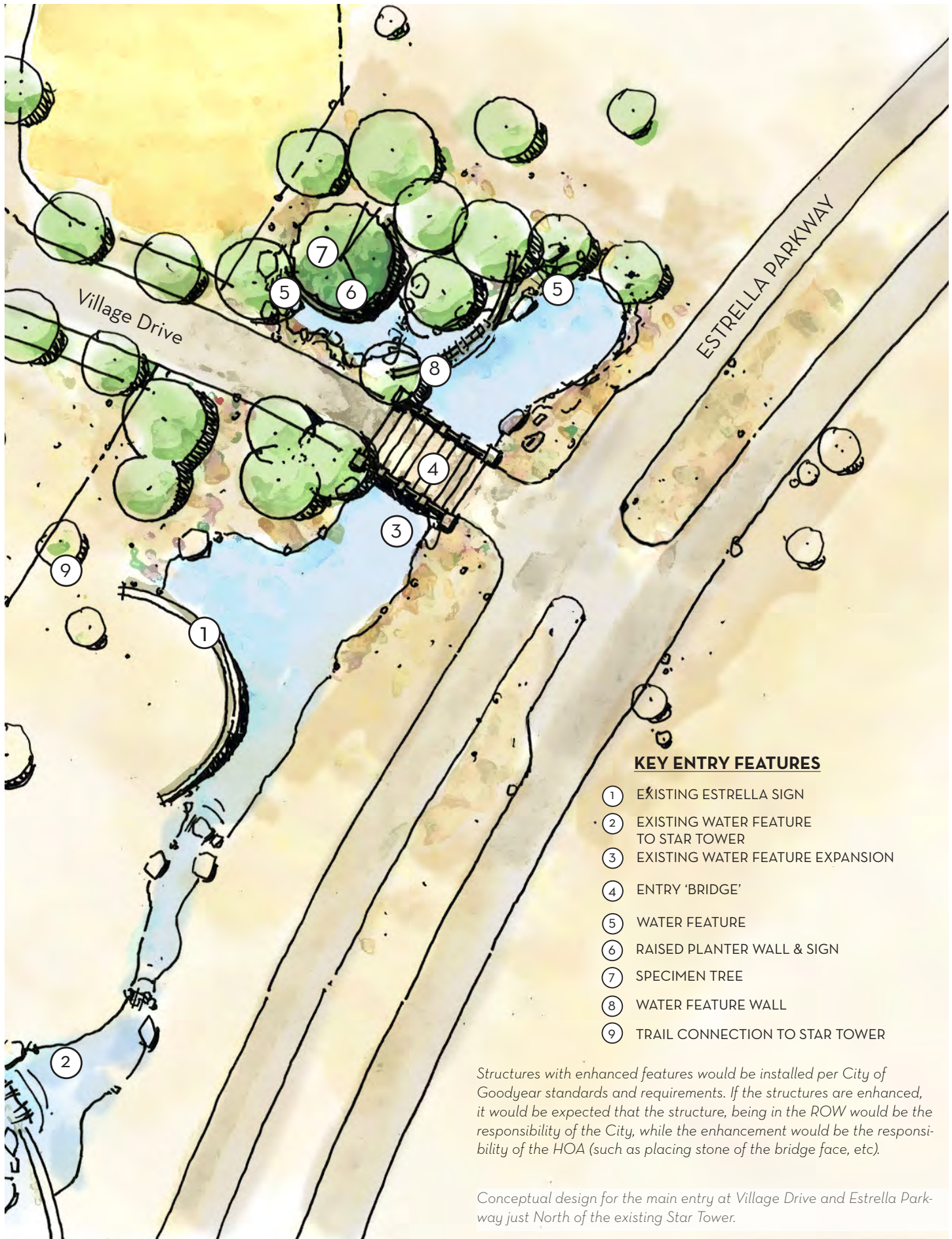
16. Entry Monuments

Community identification and monumentation will compliment the existing character and quality of the Estrella Community. Materials, features, and design will focus on a combination of landscape, topography, stone, and metal.





Conceptual sketch at the main entrance crossing looking N.W.



17. Utilities & Services

The following will be the providers of the utilities and service to Lucero:

WATER
SEWER
ELECTRICITY
GAS
REFUSE
FIRE AND EMERGENCY SERVICES
POLICE
SCHOOLS

CITY OF GOODYEAR
CITY OF GOODYEAR
ARIZONA PUBLIC SERVICE
SOUTHWEST GAS CORPORATION
CITY OF GOODYEAR
CITY OF GOODYEAR
CITY OF GOODYEAR
LIBERTY ELEMENTARY DISTRICT
BUCKEYE UNION HIGH SCHOOL



18. Conclusions

Hand Crafted Communities

Newland Communities is the largest private developer of planned residential and urban mixed-use communities in the United States. While no two sites or projects are alike, this extensive experience gives Newland the knowledge and unique perspective to understand what it takes to nurture successful developments. For Estrella, Newland understands that this particular parcel of land represents the gateway to the entire community and therefore demands a greater degree of sensitivity and thoughtful planning and design considerations. The proposed refinements to the PAD provide the platform for success, which will compliment the entire community for years to come.

The PAD zoning amendment provides the mechanism to direct these planned refinements in a manner that best aligns with the vision of the community and the entire City of Goodyear. The prepared document clearly provides all the necessary detail, data and justification for the proposed refinement.

The proposed amendment identifies the following:

- Importance of the land within the context of the overall Estrella community and its role as a gateway to the development.
- Sensitive character of the land due to wash corridors and unique landforms, which requires a light touch on the land.
- Articulation of the importance and value of open space relative to interconnected paths and trails.
- Establishment of a design direction that celebrates great neighborhood characteristics and deters typical suburban subdivision layout.
- Desire to minimize impacts to Estrella Parkway and limit the number of new access routes and intersections.
- The existing Estrella planning framework has in place a significant amount of land identified for commercial development (north core) which in the future will continue to foster employment opportunities.
- The proposed amendment strongly aligns with the goals, policies and objectives of the City's General Plan.

All these strategies represent Newland's continued commitment to Estrella and the goal of providing great places to live, work and play.

A night scene featuring a stone wall in the foreground. On the wall is a large, illuminated sign that reads "ESTRELLA" in a serif font, with "by Newland COMMUNITIES" in a smaller font below it. To the left of the wall is a stone tower with a pointed roof, also illuminated. The scene is reflected in a body of water in the foreground. The sky is a deep blue, and there are some trees and a cactus in the background.

ESTRELLA

by Newland COMMUNITIES

“Invest wisely in
beauty, it will
serve you all the
days of your life.”

- Frank Lloyd Wright



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