

PRELIMINARY PLAT PASEO PLACE PARCEL 1

A PORTION OF THE S.W. 1/4 OF SECTION. 10, T.1N, R.2W, OF
THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA
COUNTY, ARIZONA

LEGAL DESCRIPTION

THAT PORTION OF THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 1 NORTH, RANGE 2 WEST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH QUARTER CORNER OF SAID 10 MARKED WITH A BRASS CAP WHENE THE SOUTHWEST CORNER OF SAID SECTION 10 MARKED WITH AN ALUMINUM CAP LIES WEST, 2644.93 FEET;

THENCE NORTH 00 DEGREE 03 MINUTES 17 SECONDS WEST ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 10, A DISTANCE OF 33.00 FEET TO THE POINT OF BEGINNING;

THENCE WEST PARALLEL WITH AND 33.00 FEET NORTH OF THE SOUTH LINE OF SAID SOUTHWEST QUARTER, A DISTANCE OF 1312.20 FEET TO A POINT THAT LIES 1332.73 FEET EAST OF THE WEST LINE OF SAID SOUTHWEST QUARTER;

THENCE NORTH 00 DEGREE 01 MINUTES 07 SECONDS WEST PARALLEL WITH AND 1332.73 FEET EAST OF SAID WEST LINE, A DISTANCE OF 557.00 FEET;

THENCE WEST PARALLEL WITH AND 590.00 FEET NORTH OF THE SOUTH LINE OF SAID SOUTHWEST QUARTER, A DISTANCE OF 156.50 FEET;

THENCE NORTH 00 DEGREE 01 MINUTES 07 SECONDS WEST PARALLEL WITH AND 1176.23 FEET EAST OF THE WEST LINE OF SAID SOUTHWEST QUARTER, A DISTANCE OF 764.39 FEET TO THE NORTH LINE OF THE SOUTH 1/4 CORNER OF SAID SOUTHWEST QUARTER;

THENCE EAST PARALLEL WITH AND 1354.38 FEET NORTH OF THE SOUTH LINE OF SAID SOUTHWEST QUARTER, A DISTANCE OF 1467.87 FEET TO THE EAST LINE OF SAID SOUTHWEST QUARTER;

THENCE SOUTH 00 DEGREE 03 MINUTES 17 SECONDS EAST ALONG SAID EAST LINE, A DISTANCE OF 1321.39 FEET TO THE POINT OF BEGINNING.

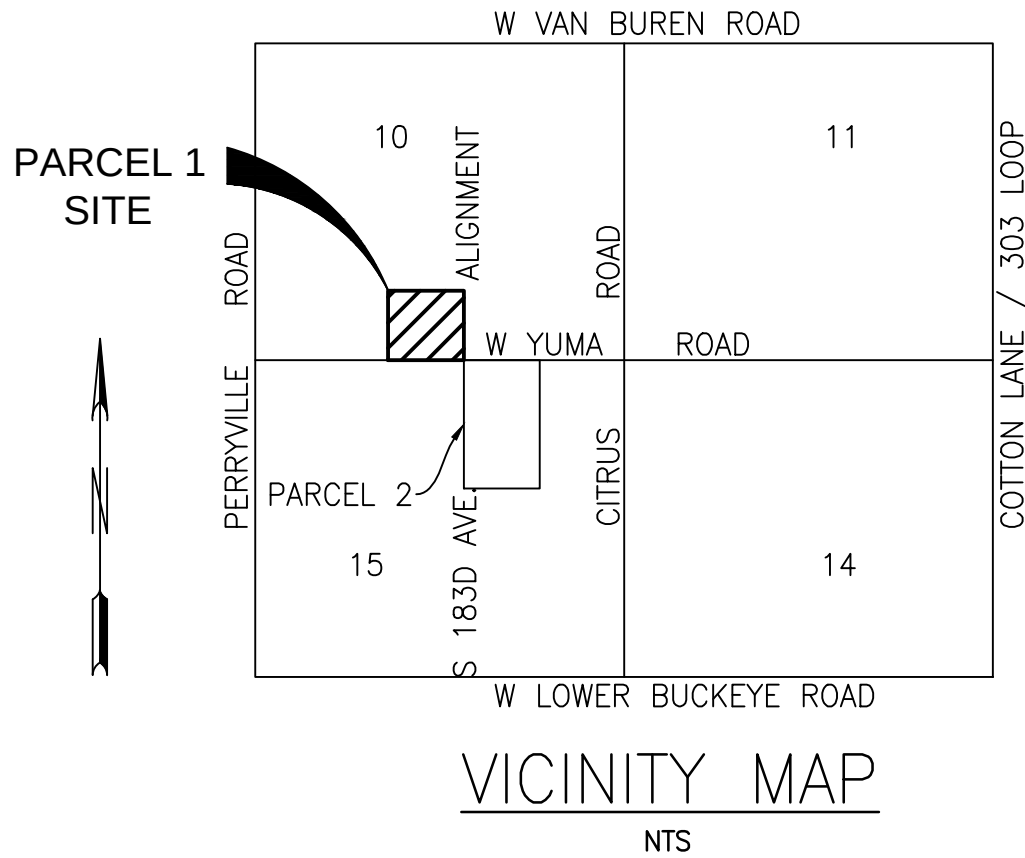
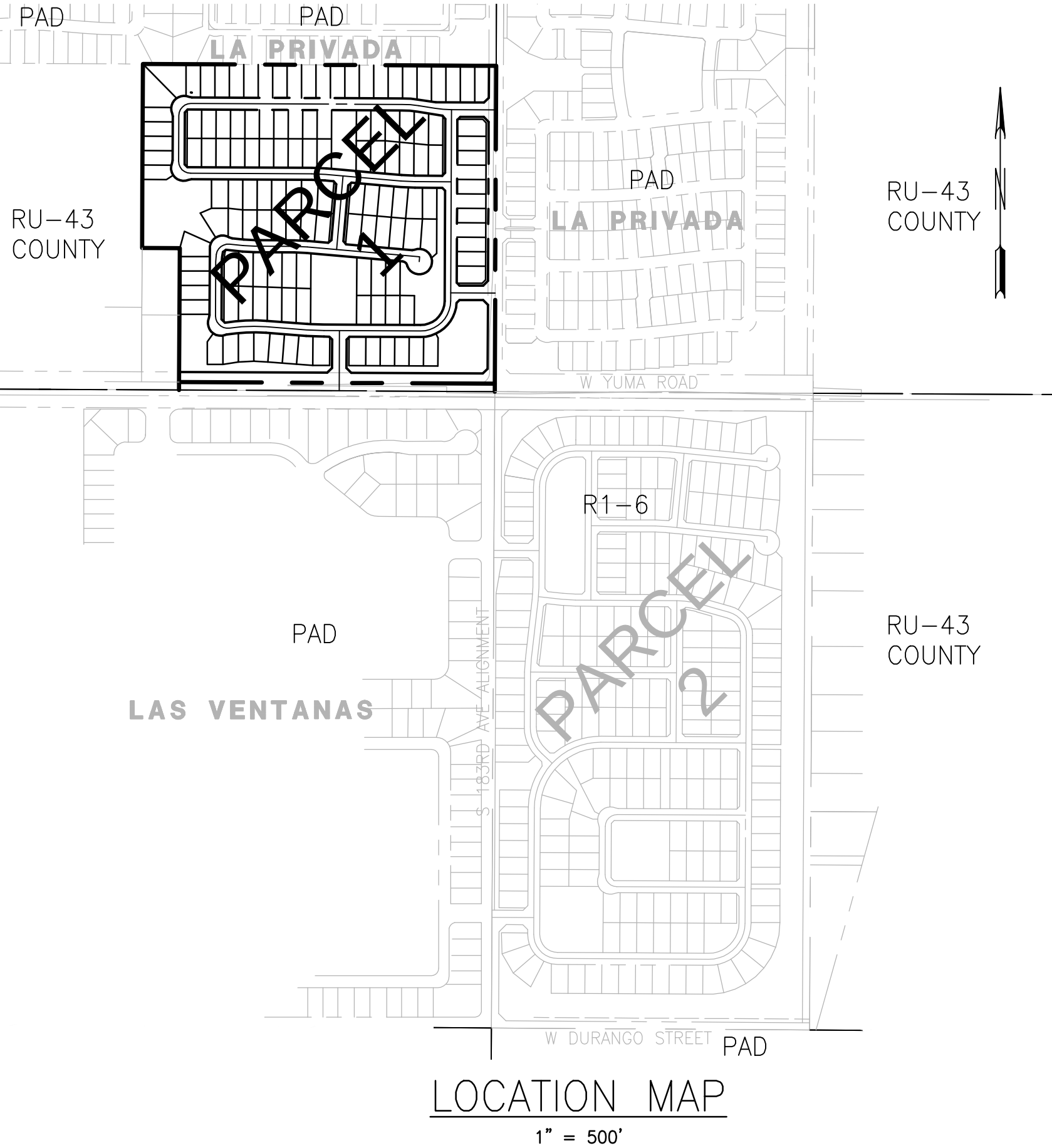
CITY MAINTAINED RIGHT-OF-WAY IMPROVEMENTS

IMPROVEMENTS MADE WITHIN A CITY RIGHT-OF-WAY, TRACT, OR EASEMENT THAT WILL BE MAINTAINED IN THE FUTURE BY THE CITY OF GOODYEAR SHALL BE CLEARLY IDENTIFIED ON THE APPROVED PLANS AND ARE SUBJECT TO THE FOLLOWING REQUIREMENTS. IMPROVEMENTS MAY INCLUDE BUT ARE NOT LIMITED TO STREET SURFACES, CURB, GUTTER, SIDEWALKS, RAMPS, DRIVEWAYS, TURN BAYS, BUS BAYS, STREET LIGHTING, SIGNAGE, STRIPING (LANDSCAPE RESPONSIBILITIES ARE IDENTIFIED UNDER SEPARATE NOTE):

- THE DEVELOPER SHALL MAINTAIN AND WARRANTY ALL IMPROVEMENTS FOR A PERIOD OF TWO-YEARS BEGINNING IMMEDIATELY AFTER THE CITY ISSUES THE NOTIFICATION OF APPROVAL FOR THE PROJECT.
- DURING THE MAINTENANCE AND WARRANTY PERIOD, THE DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING ADEQUATE PROTECTION TO ALL IMPROVEMENTS. ANY DAMAGED IMPROVEMENTS SHALL BE IMMEDIATELY REPAIRED OR REPLACED AT THE DEVELOPER'S EXPENSE.
- MAINTENANCE SHALL INCLUDE BUT IS NOT LIMITED TO STREET SWEEPING, APPLICATION OF THE SEALANT ON ALL CRACKS AND JOINTS, AND APPLICATION OF SEALANT OVER ALL THE ASPHALT PAVEMENTS.
- AT THE TERMINATION OF THE MAINTENANCE AND WARRANTY PERIOD ALL IMPROVEMENTS SHALL BE UNDAMAGED AND MEET CITY STANDARDS.
- IF ALL IMPROVEMENTS ARE NOT ACCEPTABLE AT THE END OF THE TWO-YEAR PERIOD, THE MAINTENANCE AND WARRANTY PERIOD SHALL CONTINUE UNTIL THE IMPROVEMENTS MEET CITY APPROVAL.

SITE DATA		
EXISTING ZONING	R1-6 S.F.R.	
GROSS ACREAGE	42.50	ACRES
NET ACREAGE	39.40	ACRES
EXISTING RIGHT-OF-WAY	0.99	ACRES
OPEN SPACE REQUIRED	5.11	ACRES
OPEN SPACE REQUIRED (%)	12	%
OPEN SPACE PROVIDED	18.99	ACRES
OPEN SPACE PROVIDED (%)	44.68	%
PASSIVE OPEN SPACE PROVIDED	14.19	ACRES
ACTIVE OPEN SPACE PROVIDED	4.80	ACRES
STREETS	10.66	ACRES
AVERAGE LOT SIZE	7957	S.F.
MINIMUM LOT SIZE	7110	S.F.
MAXIMUM LOT SIZE	15974	S.F.
LOT COUNT	136	EA.
DENSITY (BASED ON NET AC.)	3.45	D.U./AC.

OPEN SPACE USAGE TABLE			
TRACT ID	TRACT FEET (S.F.)	USE	OWNER AND MAINTENANCE RESPONSIBILITY
A	8745	LANDSCAPE	HOA
B	74763	LANDSCAPE, DRAINAGE, RECREATION	HOA
E	2370	LANDSCAPE	HOA
F	2430	LANDSCAPE	HOA
G	2430	LANDSCAPE	HOA
H	9074	LANDSCAPE	HOA
I	49194	LANDSCAPE, DRAINAGE	HOA
J	2898	LANDSCAPE	HOA
K	55011	LANDSCAPE, DRAINAGE, RECREATION	HOA
L	45900	LANDSCAPE, DRAINAGE	HOA
M	67642	LANDSCAPE, DRAINAGE	HOA
TOTAL	349,681 SF	8.03 ACRES	



BASIS OF BEARING

THE BASIS OF BEARING USED FOR THIS SURVEY IS N89°42'31"W ALONG THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 10, T-1-N, R-2-W PER RECORD OF SURVEY PLSS SUBDIVISION MARICOPA COUNTY GEODETIC DENSIFICATION AND CADASTRAL SURVEY RECORDED IN BOOK 638, PAGE 33.

BENCHMARK

NORTH PARCEL (PARCEL1): MARICOPA COUNTY BRASS CAP AT THE S 1/4 CORNER OF SECTION 10. ELEV. = 973.28' (NAVD 88)

SOUTH PARCEL (PARCEL 2): "X" IN SOUTH FACE OF IRRIGATION STRUCTURE AT NW CORNER OF COTTON LANE AND W YUMA ROAD ELEV. = 966.07' (CITY OF GOODYEAR DATUM)

OWNER/DEVELOPER

MELCOR DEVELOPMENTS ARIZONA, INC.
8800 N. GAINES CENTER DRIVE
SUITE 160
SCOTTSDALE, ARIZONA 85258

PHONE: (480) 699-4687
CONTACT: JAMES SHELLY

ENGINEER/SURVEYOR

RICK ENGINEERING COMPANY
6150 NORTH 16TH STREET
PHOENIX, ARIZONA 85016

PHONE: (602) 957-3350
FAX: (602) 285-2396
CONTACT: CHRIS PATTON, P.E.

LANDSCAPE ARCHITECT

HADLEY DESIGN GROUP, INC.
7400 E. McDONALD DRIVE
SUITE 122
SCOTTSDALE, ARIZONA 85250

PHONE: (480) 478-0096
CONTACT: MICHAEL BUSCHBACHER II, LA

SHEET INDEX	
SHT	SHEET TITLE
1	COVER SHEET
2	KEY MAP AND LOT INFORMATION
3	SECTIONS & DETAILS
4	PRELIMINARY PLAT
5	PRELIMINARY PLAT
6	GRADING AND DRAINAGE PLAN
7	GRADING AND DRAINAGE PLAN
8	UTILITY PLAN
9	UTILITY PLAN

NOTES	
1.	OPEN SPACE AREAS ARE TO BE MAINTAINED BY THE PASEO PLACE HOMEOWNER ASSOCIATION.
2.	ALL STREETS ARE TO BE PUBLIC STREETS.
3.	LOT AND TRACTS SUBJECT TO COVENANTS, CONDITIONS, RESTRICTIONS, ASSESSMENTS, CHARGES, SERVITUDES, LIENS RESERVATIONS AND EASEMENTS FOR PURPOSES SHOWN, APPROPRIATE DOCUMENTS WILL BE RECORDED WITH THE FINAL PLAT.
4.	THE DESIGN INTENT IS IN ACCORDANCE WITH CITY OF GOODYEAR DESIGN GUIDELINES MANUAL, ADOPTED ON JUNE 9, 2014 AND CITY OF GOODYEAR DESIGN STANDARDS AND POLICY MANUAL ADOPTED DECEMBER 2012.
5.	THIS PROJECT IS LOCATED IN FEMA FLOOD ZONE "X". SEE PRELIMINARY DRAINAGE STUDY FOR FIRM MAP AND DRAINAGE REQUIREMENTS.
6.	MINIMUM 5 FEET BUILDING SETBACK MEASURED FROM THE ROOF OVERHANG OR BUILDING PROJECTION; OR PROVIDE FIRE-RATED CONSTRUCTION WHEN LESS THAN 5 FEET TO THE PROPERTY LINE.

DEVELOPMENT STANDARDS		
LOW-MEDIUM DENSITY RESIDENTIAL DISTRICT-R1-6 S.F.R.		
MINIMUM NET SIZE AREA	6,000	S.F.
MINIMUM LOT WIDTH	60	FT.
MINIMUM LOT DEPTH	120	FT.
MINIMUM SETBACKS		
FRONT	20-30	FT.
TOTAL BOTH SIDES	15	FT.
MINIMUM SIDE YARD	5&10	FT.
REAR YARD	20	FT.
CORNER SIDE	15	FT.

UTILITY COMMITMENT TABLE	
UTILITY	COMPANY
WATER	CITY OF GOODYEAR
SEWER	CITY OF GOODYEAR
ELECTRIC	ARIZONA PUBLIC SERVICE
GAS	SOUTHWEST GAS
TELEPHONE	CENTURY LINK
CABLE T.V.	COX COMMUNICATIONS

REVISIONS		
NO.	DESCRIPTION	DATE



PRELIMINARY PLAT FOR PASEO PLACE PARCEL 1

COVER SHEET

CITY OF GOODYEAR, MARICOPA COUNTY, ARIZONA



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	DESIGNED: CP/DF	DRAWN: DY

SHEET 1 OF 9

LOT AREA TABLE		
LOT #	AREA SF	AREA AC
1	9187	0.21
2	9191	0.21
3	9168	0.21
4	8750	0.20
5	8324	0.19
7	8249	0.19
8	8253	0.19
9	8257	0.19
10	8260	0.19
11	8264	0.19
12	8267	0.19
13	8271	0.19
14	8275	0.19
15	8278	0.19
16	8282	0.19
17	8286	0.19
18	8289	0.19
19	8293	0.19
20	8231	0.19
21	15169	0.35
22	14797	0.34
23	7349	0.17
24	7496	0.17
25	7498	0.17
26	7457	0.17
27	7110	0.16
28	7198	0.17
29	7200	0.17
30	7200	0.17
31	7200	0.17
32	7200	0.17
33	7200	0.17
34	7200	0.17
35	7200	0.17
36	7200	0.17
37	7200	0.17
38	7599	0.17
39	7599	0.17
40	7767	0.18
41	8052	0.18
42	7996	0.18
43	7608	0.17
44	7653	0.18
45	7823	0.18
46	8090	0.19
47	8159	0.19
48	8026	0.18
49	7726	0.18
50	7322	0.17
51	7202	0.17
52	7200	0.17
53	7200	0.17
54	7200	0.17
55	7200	0.17
56	7200	0.17
57	7200	0.17
58	7200	0.17
59	7198	0.17
60	8406	0.19
61	7385	0.17

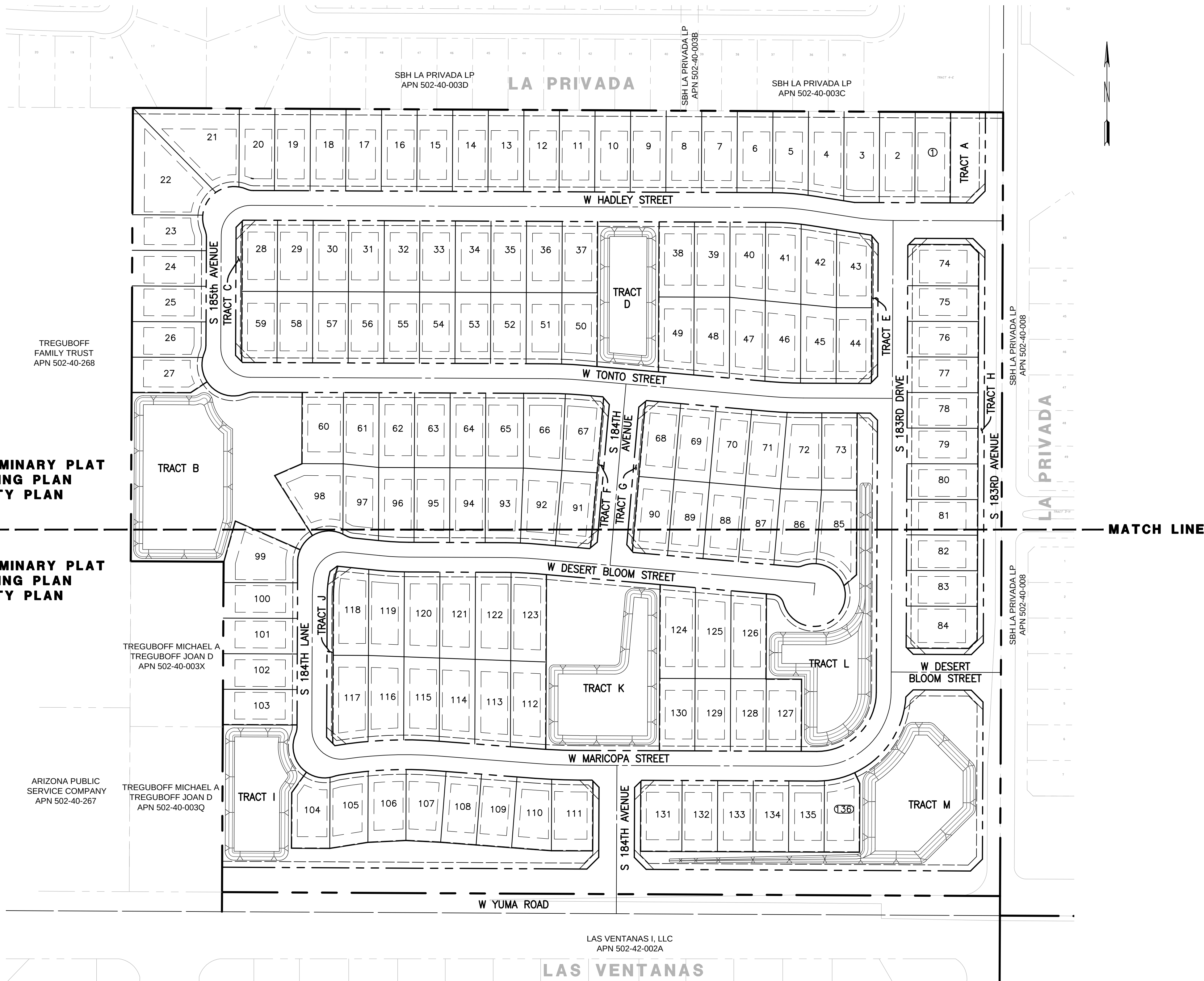
LOT AREA TABLE		
LOT #	AREA SF	AREA AC
62	7560	0.17
63	7560	0.17
64	7560	0.17
65	8042	0.18
66	8660	0.20
67	8090	0.19
68	7708	0.18
69	7710	0.18
70	7710	0.18
71	7718	0.18
72	8260	0.19
73	7800	0.18
74	8298	0.19
75	7200	0.17
76	7200	0.17
77	7200	0.17
78	7200	0.17
79	7200	0.17
80	7200	0.17
81	7200	0.17
82	7200	0.17
83	7200	0.17
84	8464	0.19
85	9083	0.21
86	9007	0.21
87	7710	0.18
88	7710	0.18
89	7710	0.18
90	7708	0.18
91	7667	0.18
92	7853	0.18
93	7760	0.18
94	7560	0.17
95	7560	0.17
96	7513	0.17
97	7365	0.17
98	10058	0.23
99	9951	0.23
100	7503	0.17
101	7505	0.17
102	7508	0.17
103	7510	0.17
104	7655	0.18
105	7786	0.18
106	7729	0.18
107	7584	0.17
108	7200	0.17
109	7200	0.17
110	7557	0.17
111	8390	0.19
112	8770	0.20
113	8627	0.20
114	8483	0.19
115	8385	0.19
116	8532	0.20
117	8909	0.20
118	8762	0.20
119	8614	0.20
120	8636	0.20
121	8755	0.20

LOT AREA TABLE		
LOT #	AREA SF	AREA AC
122	8873	0.20
123	8905	0.20
124	9343	0.21
125	9043	0.21
126	8743	0.20
127	7320	0.17
128	7320	0.17
129	7320	0.17
130	7320	0.17
131	8398	0.19
132	7200	0.17
133	7200	0.17
134	7200	0.17
135	7202	0.17
136	7551	0.17

SHEET 4 - PRELIMINARY PLAT
SHEET 6 - GRADING PLAN
SHEET 8 - UTILITY PLAN

MATCH LINE

SHEET 5 - PRELIMINARY PLAT
SHEET 7 - GRADING PLAN
SHEET 9 - UTILITY PLAN



KEY MAP

100 50 0 100
SCALE: 1" = 100'

REVISIONS		
NO.	DESCRIPTION	DATE

CALL TWO WORKING DAYS
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PRELIMINARY PLAT FOR PASEO PLACE PARCEL 1

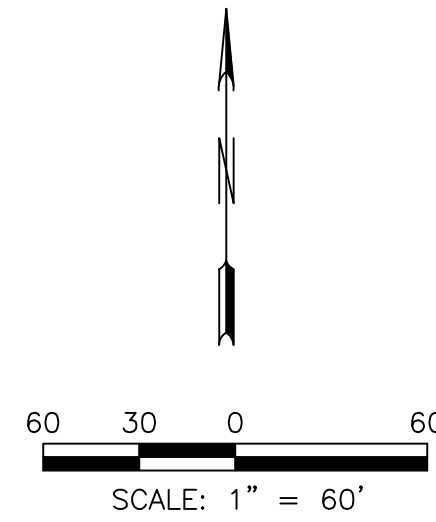
KEY MAP AND LOT INFORMATION

CITY OF GOODYEAR, MARICOPA COUNTY, ARIZONA



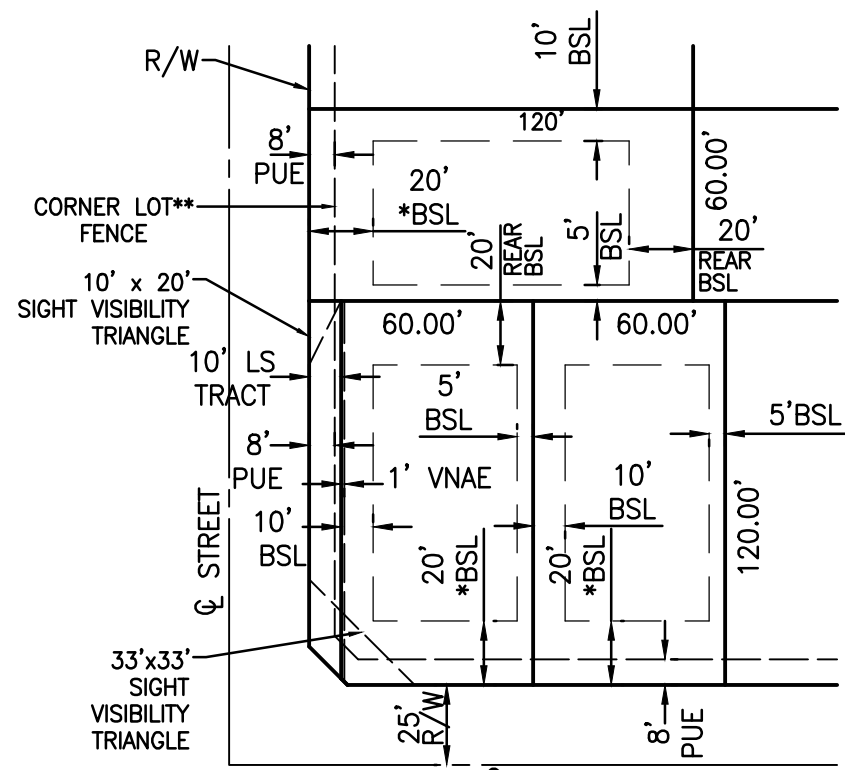
6150 NORTH 14TH STREET PHOENIX, AZ 85016 602.957.3350 (FAX) 602.285.2396	rickengineering.com Tucson - San Diego - Sacramento - Riverside - Orange - San Luis Obispo - Bakersfield Phoenix	
	DESIGNED: CP/DF PROJECT NO: 17280 DATE: FEB 25, 2015	COPYRIGHT 2015 RICK ENGINEERING COMPANY DRAWN: DY

SHEET 2 OF 9

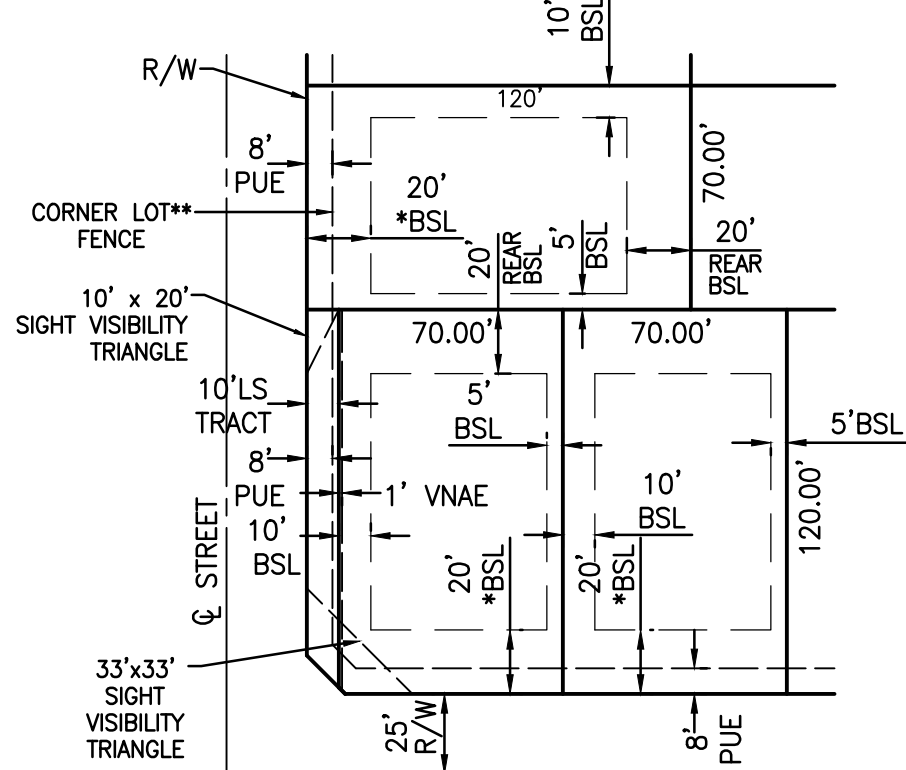


LINE TABLE		
LINE	BEARING	DISTANCE
L1	S89°46'01"E	185.00'
L2	S81°00'05"E	68.83'
L3	N89°46'01"W	877.83'
L4	S0°13'59"W	190.00'
L5	S89°46'01"E	503.00'
L6	S84°59'59"E	314.74'
L7	S89°46'01"E	150.00'
L8	N5°00'01"E	307.00'
L9	N5°00'01"E	20.00'
L10	S84°59'59"E	468.92'
L11	S89°46'01"E	163.76'
L12	S84°08'09"E	56.96'
L13	S0°13'59"W	226.94'
L14	S85°36'09"E	167.42'
L15	S89°46'01"E	400.64'
L16	S0°13'59"W	795.72'
L17	S89°46'01"E	185.42'
L18	S0°13'59"W	250.00'

CURVE TABLE					
CURVE	DELTA	RADIUS	ARC	TANGENT	CHORD
C1	8°45'55"	450.00'	68.84'	34.49'	68.78'
C2	8°45'55"	450.00'	68.84'	34.49'	68.78'
C3	90°00'00"	50.00'	78.54'	50.00'	70.71'
C4	90°00'00"	50.00'	78.54'	50.00'	70.71'
C5	4°46'02"	700.00'	58.24'	29.14'	58.22'
C6	4°46'02"	700.00'	58.24'	29.14'	58.22'
C7	4°46'02"	650.00'	54.08'	27.06'	54.07'
C8	5°37'52"	500.00'	49.14'	24.59'	49.12'
C9	86°58'07"	50.00'	75.89'	47.42'	68.82'
C10	8°39'45"	200.00'	30.24'	15.15'	30.21'
C11	98°29'17"	50.00'	85.95'	58.02'	75.75'
C12	12°39'09"	700.00'	154.58'	77.60'	154.26'
C13	4°09'52"	1000.00'	72.68'	36.36'	72.66'
C14	90°00'00"	125.00'	196.35'	125.00'	176.78'



TYPICAL LOT DETAIL (60'x120')
SCALE: 1" = 60'
*10' FOR SIDE LOADED GARAGE



TYPICAL LOT DETAIL (70'x120')
SCALE: 1" = 60'
*10' FOR SIDE LOADED GARAGE

TREGUBOFF
FAMILY TRUST
APN 502-40-268

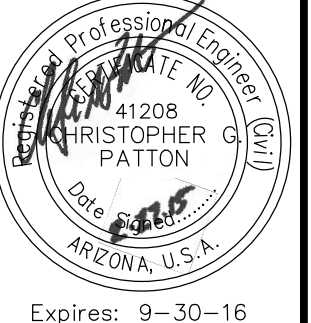


SBH LA PRIVADA LP
APN 502-40-008

PRELIMINARY PLAT FOR PASEO PLACE PARCEL 1

PRELIMINARY PLAT

CITY OF GOODYEAR, MARICOPA COUNTY, ARIZONA



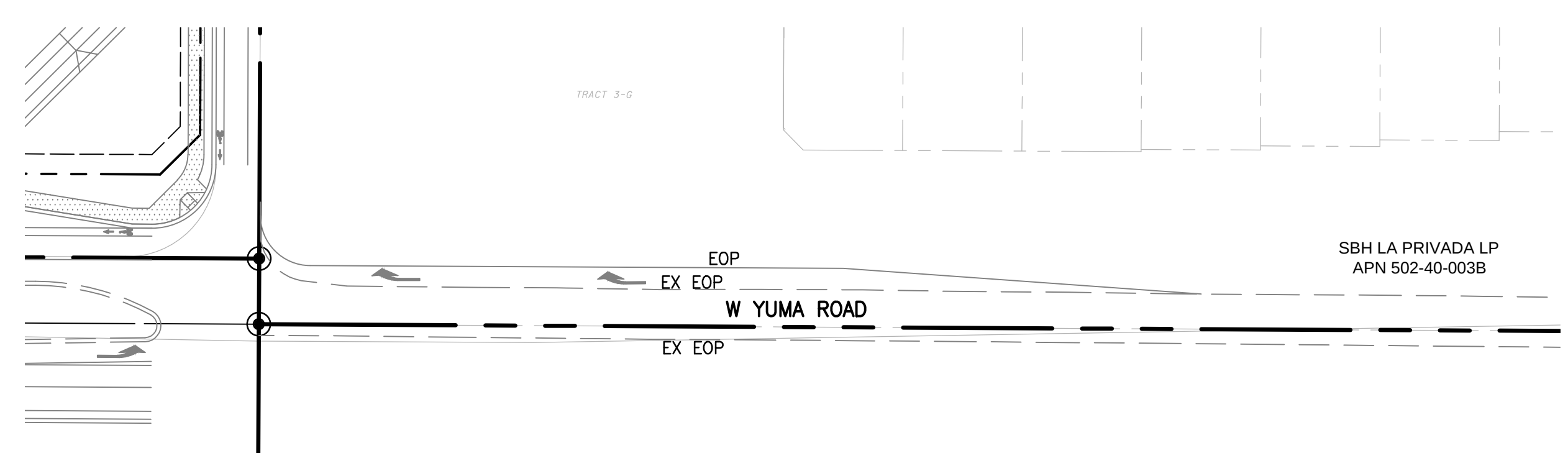
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REVISIONS		
NO.	DESCRIPTION	DATE





CURVE TABLE					
CURVE	DELTA	RADIUS	ARC	TANGENT	CHORD
C1	8°45'55"	450.00'	68.84'	34.49'	68.78'
C2	8°45'55"	450.00'	68.84'	34.49'	68.78'
C3	90°00'00"	50.00'	78.54'	50.00'	70.71'
C4	90°00'00"	50.00'	78.54'	50.00'	70.71'
C5	4°46'02"	700.00'	58.24'	29.14'	58.22'
C6	4°46'02"	700.00'	58.24'	29.14'	58.22'
C7	4°46'02"	650.00'	54.08'	27.06'	54.07'
C8	5°37'52"	500.00'	49.14'	24.59'	49.12'
C9	86°58'07"	50.00'	75.89'	47.42'	68.82'
C10	8°39'45"	200.00'	30.24'	15.15'	30.21'
C11	98°29'17"	50.00'	85.95'	58.02'	75.75'
C12	12°39'09"	700.00'	154.58'	77.60'	154.26'
C13	4°09'52"	1000.00'	72.68'	36.36'	72.66'
C14	90°00'00"	125.00'	196.35'	125.00'	176.78'

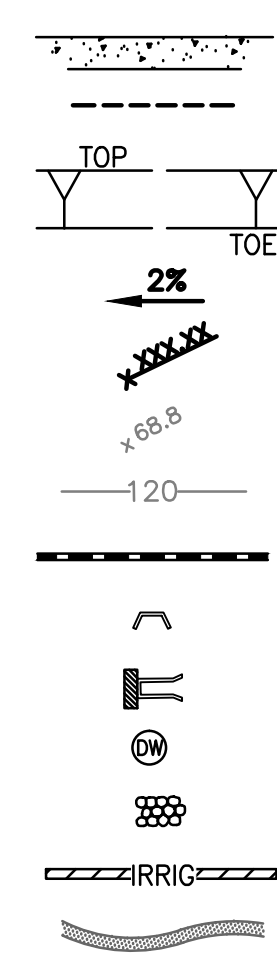


PRELIMINARY PLAT FOR PASEO PLACE PARCEL 1
PRELIMINARY PLAT
CITY OF GOODYEAR, MARICOPA COUNTY, ARIZONA

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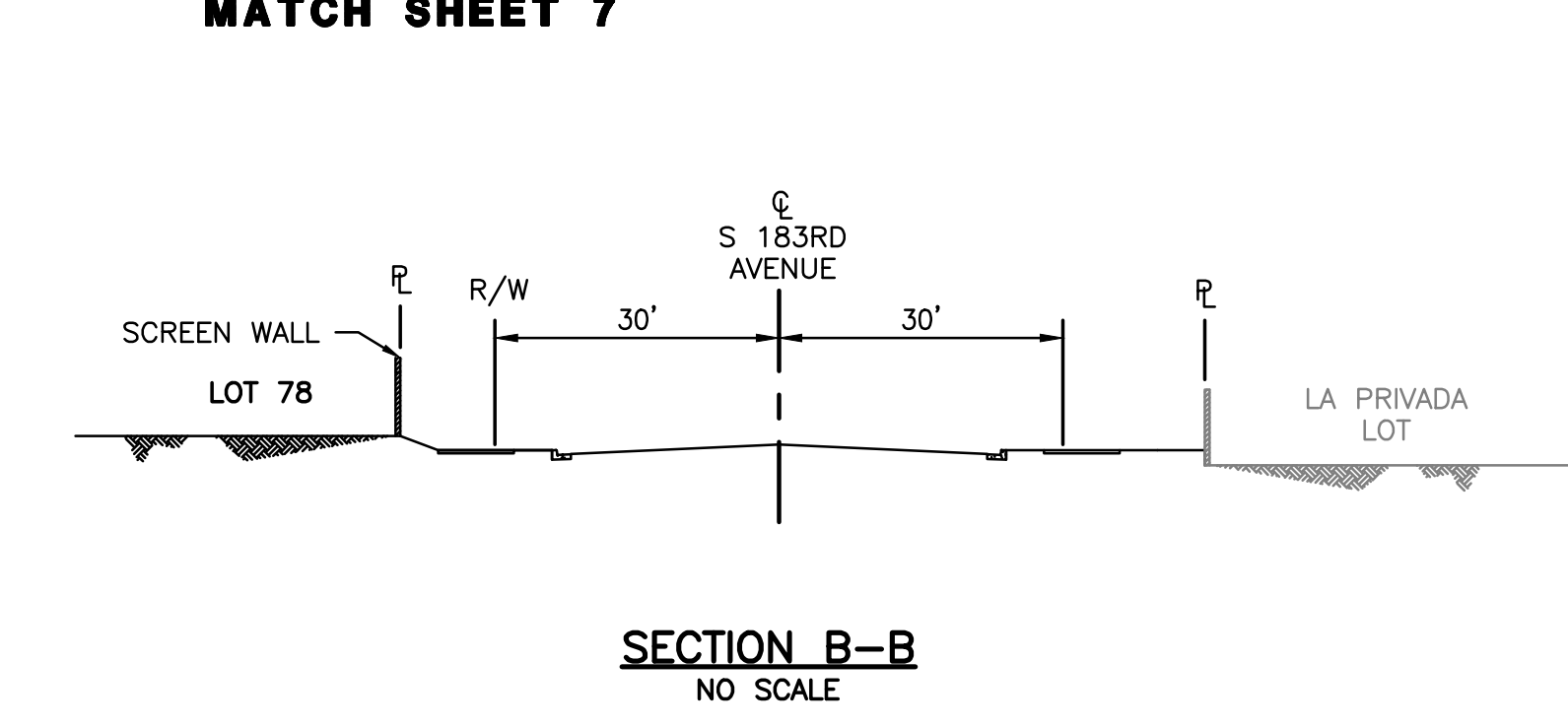
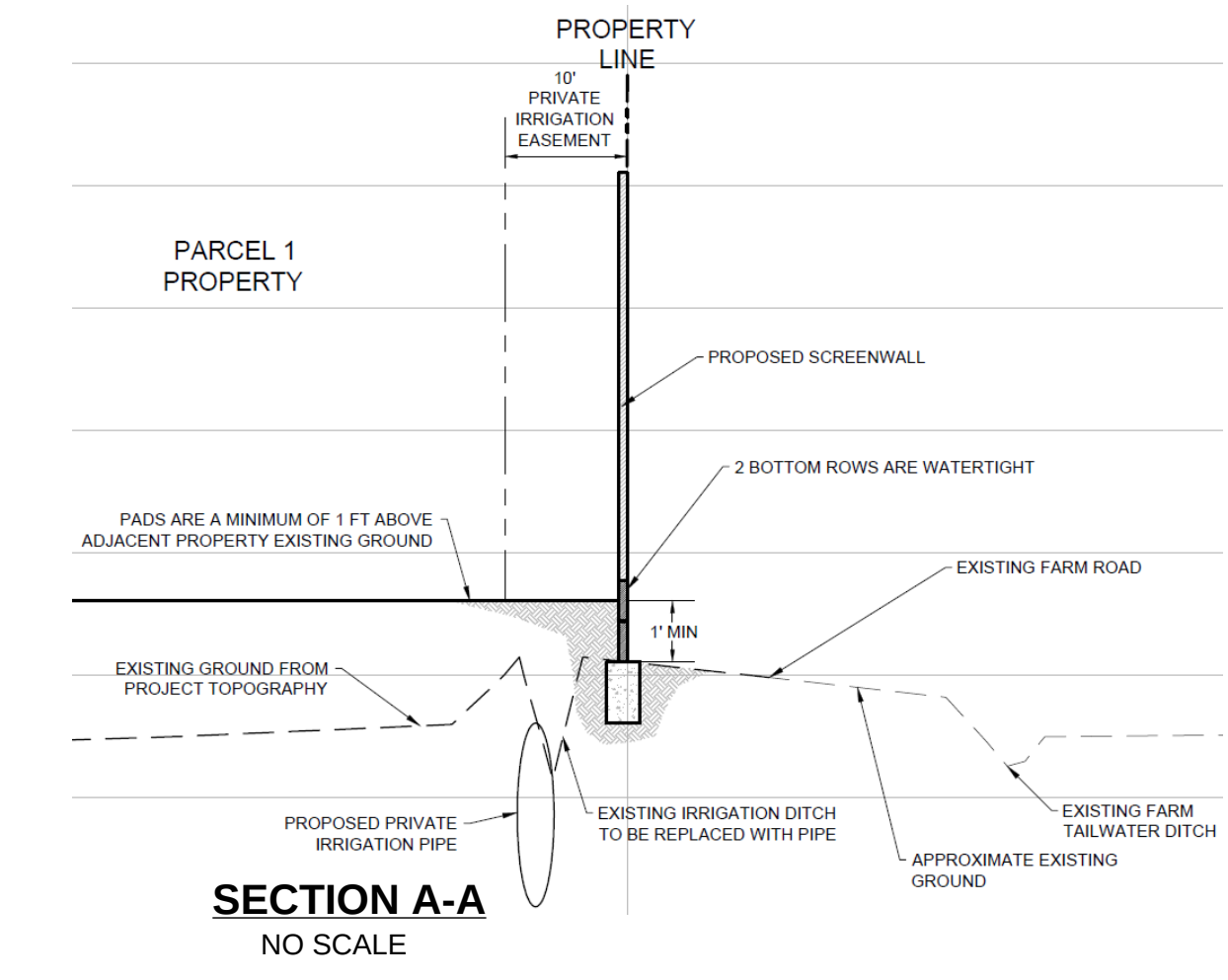
LEGEND:



- VALLEY GUTTER
- GRADE BREAK
- SLOPE
- DIRECTION OF FLOW AND SLOPE
- SPOT ELEVATION
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR LINE
- STORM DRAIN LINE
- HEAD WALL
- STORM DRAIN INLET WITH SPILLWAY
- DRY WELL
- RIP RAP
- PROPOSED R.I.D. IRRIGATION PIPELINE
- PEDESTRIAN TRAIL

RETENTION BASIN TABLE					
TRACT ID	BOTTOM (BOT) ELEVATION (FT)	TOP ELEVATION (FT)	HIGH WATER (HW) ELEVATION (FT)	VOLUME REQUIRED (FT ³)	VOLUME PROVIDED (FT ³)
B	976.0	978.5	978.0	53,200	72,700
D	976.5	979.0	978.5	21,800	31,600

NOTE: RETENTION BASIN'S SIDE SLOPES SHALL BE 6:1 MAXIMUM ADJACENT TO PEDESTRIAN ACCESS, AND 4:1 MAXIMUM OTHERWISE TO BE DETAILED IN FINAL DESIGN.



REVISIONS		
NO.	DESCRIPTION	DATE

CALL TWO WORKING DAYS BEFORE YOU GO
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(OUTSIDE MARICOPA COUNTY)

PRELIMINARY PLAT FOR PASEO PLACE PARCEL 1

GRADING AND DRAINAGE PLAN

CITY OF GOODYEAR, MARICOPA COUNTY, ARIZONA

Expires: 9-30-16

rickengineering.com
PHOENIX, AZ 85016
602.957.2330
Tucson - San Diego - Sacramento - Riverside - Orange - San Luis Obispo - Bakersfield
(FAX) 602.285.2396

DESIGNED: CP/DF
DRAWN: DY

PROJECT NO: 17280
DATE: FEB 25, 2015

RICK ENGINEERING COMPANY

6150 NORTH 14TH STREET
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SHEET 6 OF 9

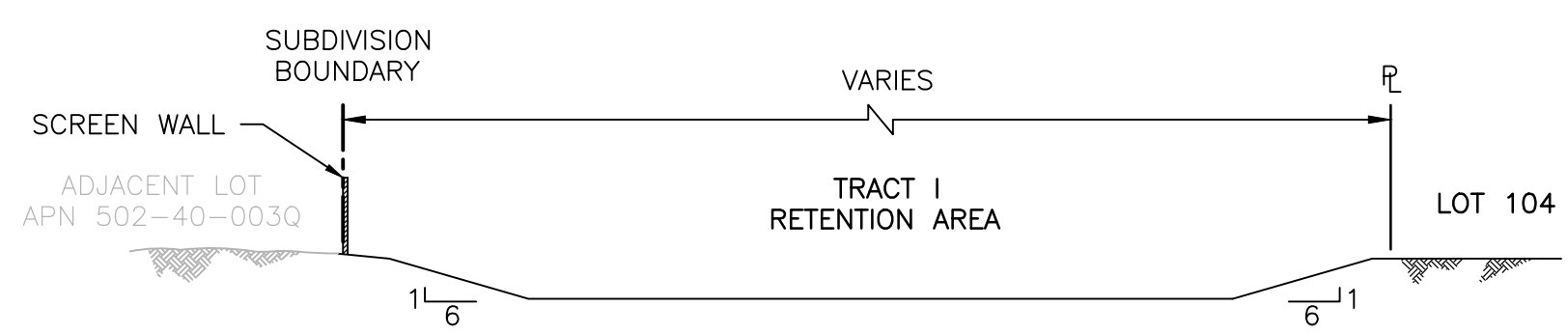
LEGEND:

- VALLEY GUTTER
- GRADE BREAK
- SLOPE
- DIRECTION OF FLOW AND SLOPE
- SPOT ELEVATION
- EXISTING SPOT ELEVATION
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- PEDESTRIAN TRAIL

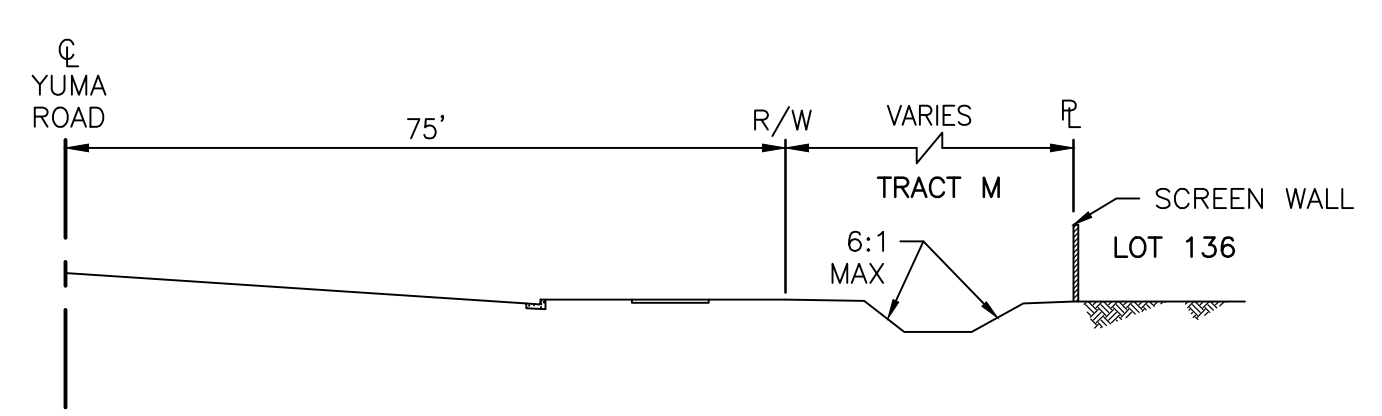
RETENTION BASIN TABLE				
TRACT ID	BOTTOM (BOT) ELEVATION (FT)	TOP ELEVATION (FT)	HIGH WATER (HW) ELEVATION (FT)	VOLUME PROVIDED (FT ³)
I	973.5	976.0	975.5	35,100
K	972.0	974.5	974.0	47,000
L	970.0	973.5	973.0	108,800*
M	970.0	973.5	973.0	133,000*

* THE VOLUMES FOR BOTH TRACT L + TRACT M

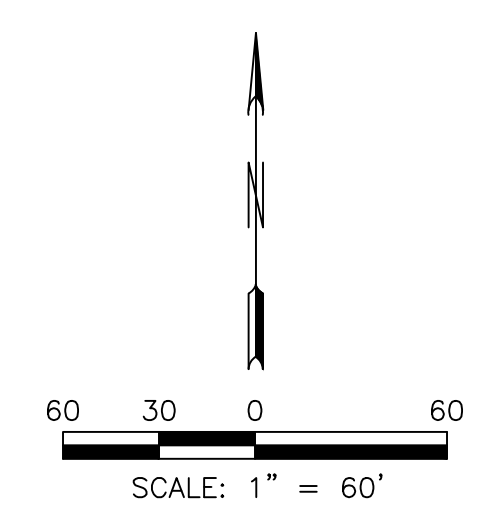
NOTE:
RETENTION BASIN'S SIDE SLOPES SHALL BE 6:1 MAXIMUM ADJACENT TO PEDESTRIAN ACCESS, AND 4:1 MAXIMUM OTHERWISE TO BE DETAILED IN FINAL DESIGN.



SECTION C-C
NO SCALE



SECTION D-D
NO SCALE



REVISIONS		
NO.	DESCRIPTION	DATE

CALL TWO WORKING DAYS BEFORE YOU GO
(602) 263-1100
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)

PRELIMINARY PLAT FOR PASEO PLACE PARCEL 1
GRADING AND DRAINAGE PLAN
CITY OF GOODYEAR, MARICOPA COUNTY, ARIZONA

Professional Engineer
11208 CHRISTOPHER G. PATTON
ARIZONA, U.S.A.
Expires: 9-30-16

rickengineering.com
PHOENIX, AZ 85016
602.957.3350
(FAX) 602.285.2396

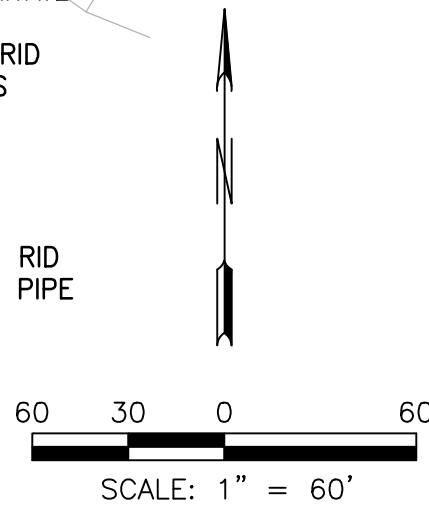
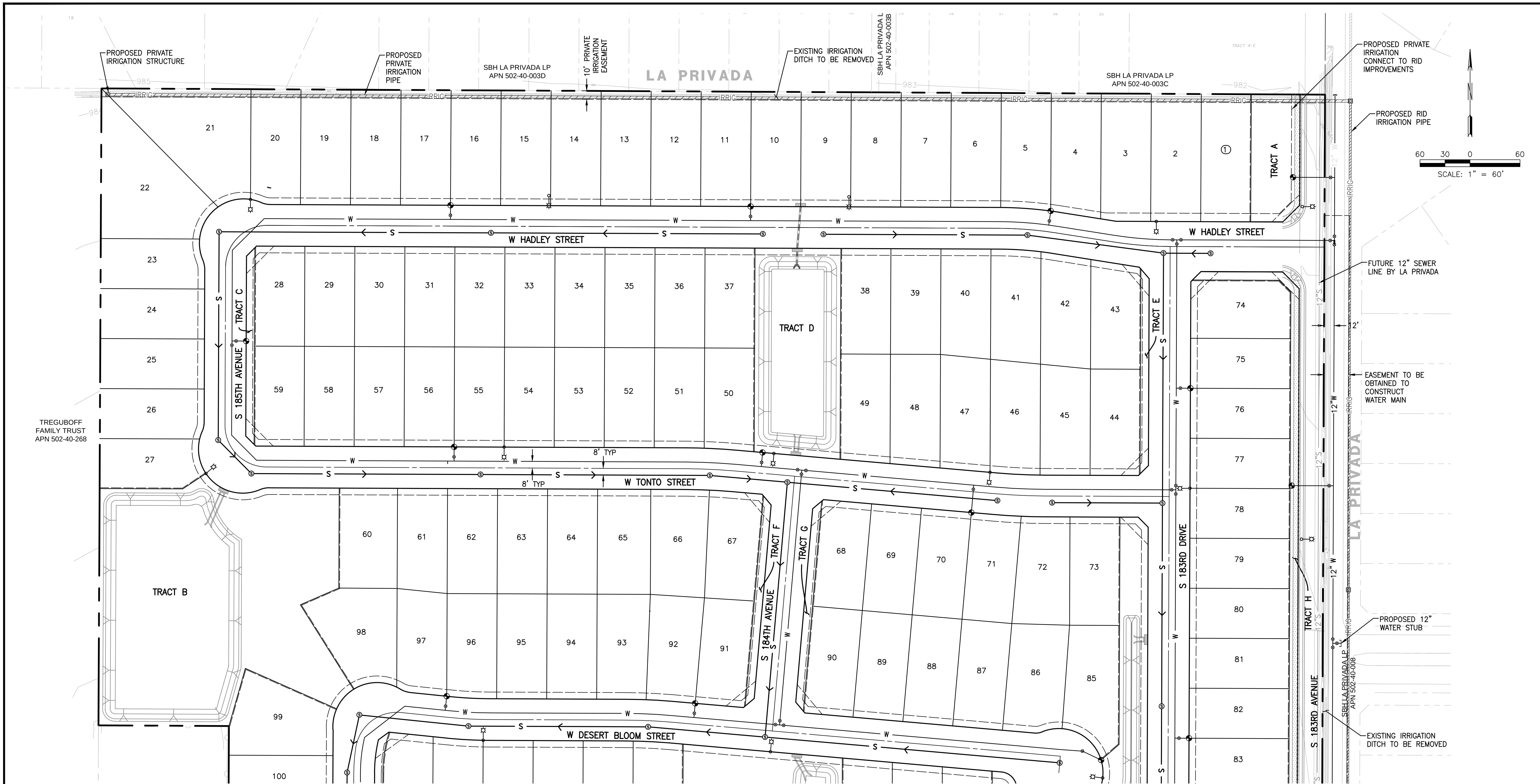
Tucson - San Diego - Sacramento - Riverside - Orange - San Luis Obispo - Bakersfield

PROJECT NO: 17280
DESIGNED: CP/DF
DRAWN: DY
DATE: FEB 25, 2015
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SHEET 7 OF 9



GENERAL UTILITY NOTES:

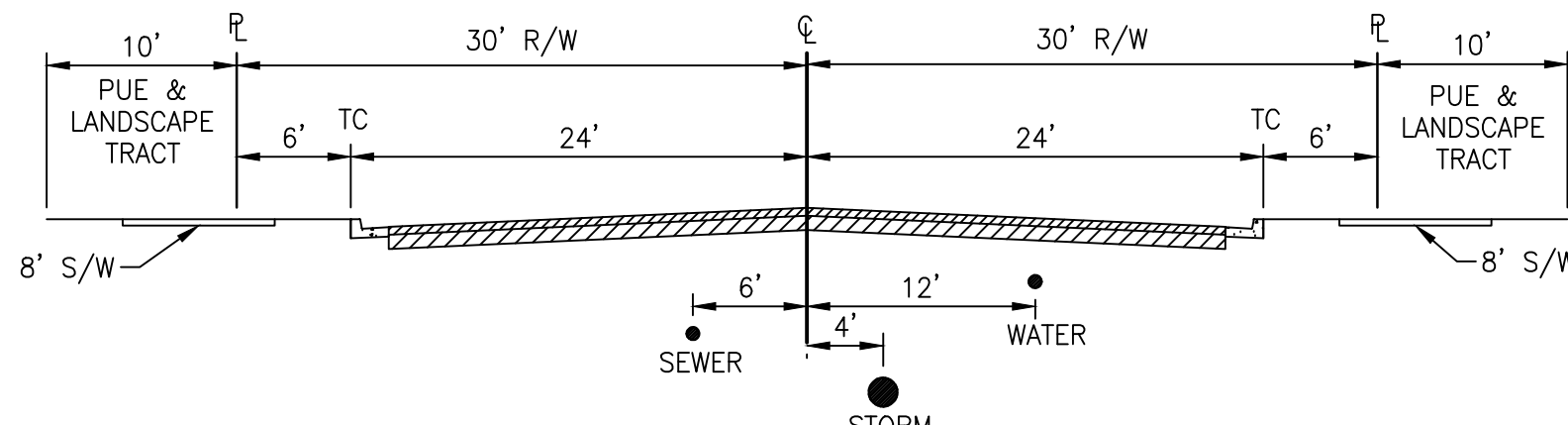
- OFFSITE WATERLINE CONNECTIONS ARE PER WEST GOODYEAR CENTRAL PLANNING AREA (WGCPA) MASTER WATER STUDY AND COST RECOVERY ORDINANCE. SEE PRELIMINARY WATER REPORT.
- OFFSITE SEWER LINE CONNECTIONS ARE PER WEST GOODYEAR CENTRAL PLANNING AREA (WGCPA) MASTER WASTEWATER STUDY AND COST RECOVERY ORDINANCE. SEE PRELIMINARY SEWER REPORT.
- IT IS UNDERSTOOD THAT PASEO PLACE PARCEL 1 AND PARCEL 2 ARE TO BE DESIGNED INDEPENDENTLY AND ARE RESPONSIBLE TO PROVIDE CONNECTION TO CITY OF GOODYEAR FACILITIES.

SEWER NOTES:

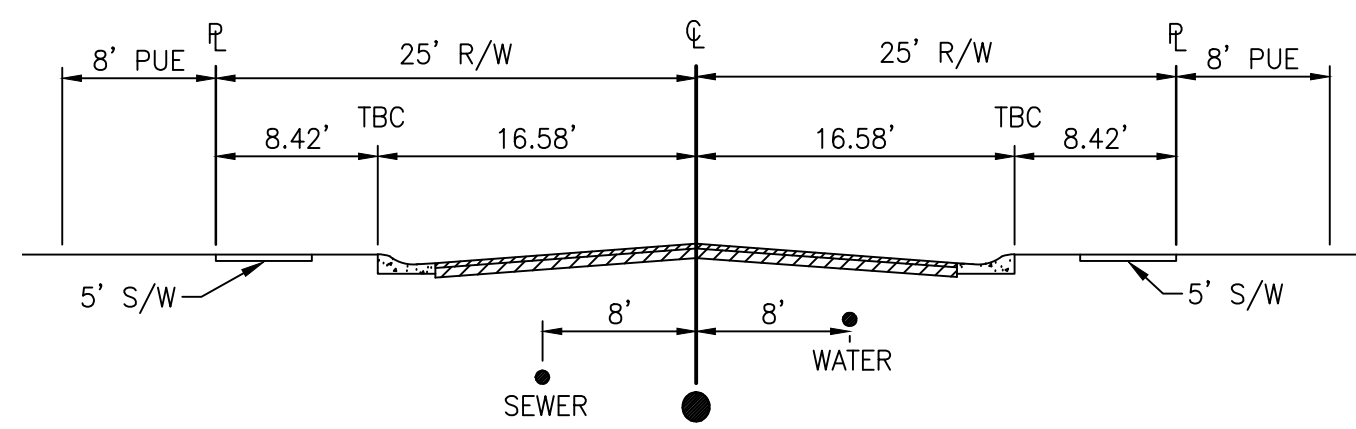
- ALL SEWER LINES 8-INCH D.I.P. UNLESS SHOWN OTHERWISE.
- MAXIMUM SPACING BETWEEN MANHOLES:
400 FEET FOR 8-INCH TO 15-INCH SEWER LINE.
500 FEET FOR ALL SEWER LINES 18-INCHES OR GREATER.
- DROP CONNECTION AT MANHOLES, PER MAG STD. DTL. 426, MAY BE REQUIRED AT 8-INCH CONNECTION TO THE ARTERIAL AND/OR COLLECTOR STREET TRUNK MAIN(S). EACH MANHOLE WILL BE EVALUATED DURING THE CONSTRUCTION PLAN DESIGN.

WATER NOTES:

- ALL WATER LINES 8-INCH UNLESS SHOWN OTHERWISE.
- MAXIMUM SPACING BETWEEN FIRE HYDRANT SHALL BE 400 FEET (PER CITY OF GOODYEAR REQUIREMENTS):



UTILITY LOCATIONS MINOR COLLECTOR ROAD
S 183RD AVENUE-HALF SECTION, S 184TH AVENUE-FULL SECTION
PER CITY OF GOODYEAR STD DTL G-3134
NO SCALE



UTILITY LOCATIONS RESIDENTIAL STREET (LOCAL STREET)
PER CITY OF GOODYEAR STD DTL G-3136
NO SCALE

LEGEND:

- EXISTING POWER POLE
- OHE — EXISTING OVERHEAD POWERLINE
- ⊙ PROPOSED SEWER MANHOLE
- S — PROPOSED SEWER MAIN
- PROPOSED FIRE HYDRANT
- PROPOSED WATER VALVE
- W — PROPOSED WATER MAIN
- ⊙ PROPOSED STREET LIGHT
- IRRIG — PROPOSED PRIVATE IRRIGATION PIPELINE
- PROPOSED PRIVATE IRRIGATION STRUCTURE

REVISIONS		
NO.	DESCRIPTION	DATE

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1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)

PRELIMINARY PLAT FOR PASEO PLACE PARCEL 1

UTILITY PLAN

CITY OF GOODYEAR, MARICOPA COUNTY, ARIZONA



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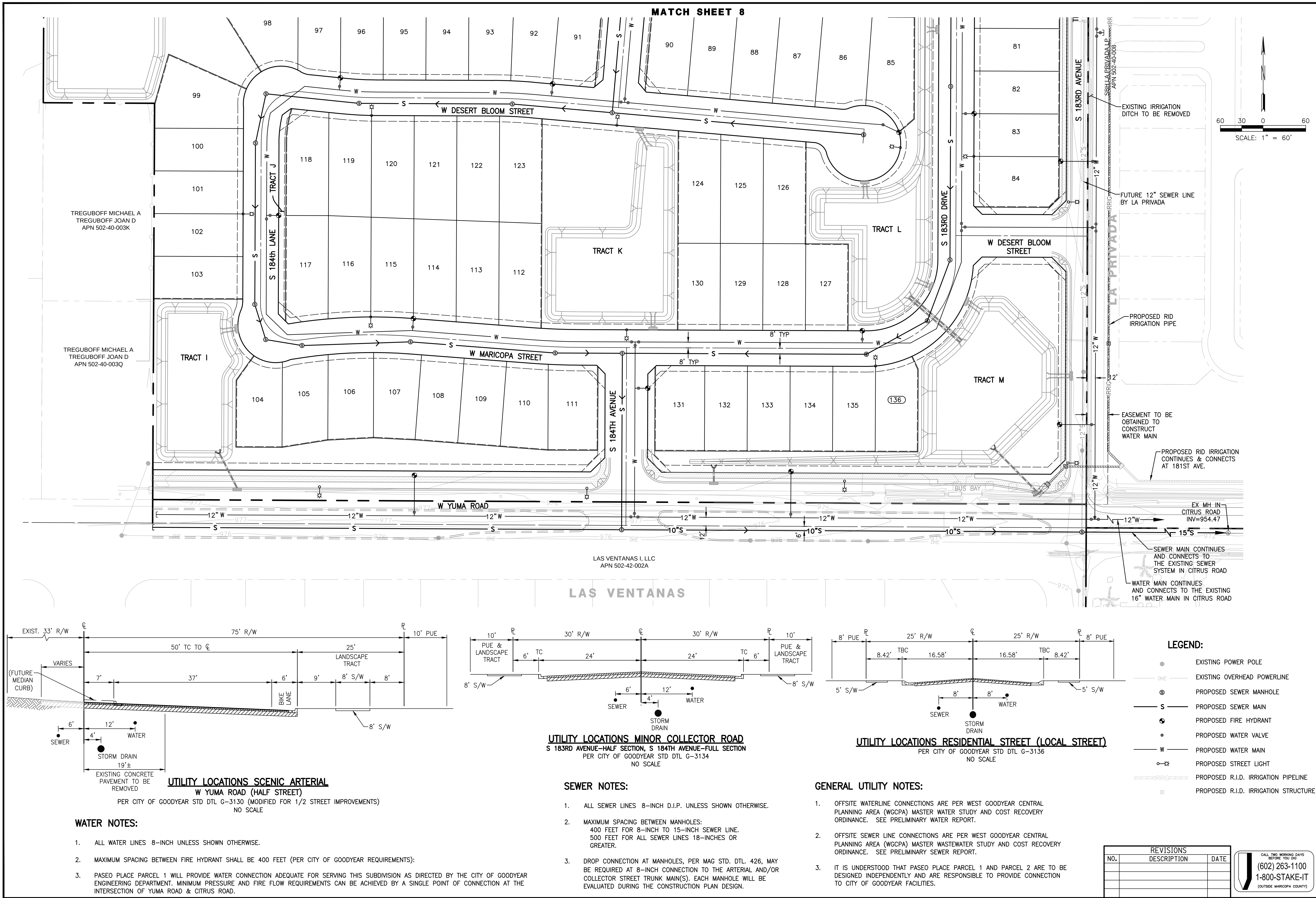
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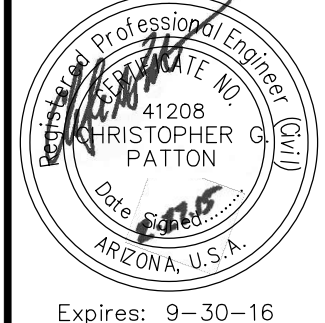
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PRELIMINARY PLAT FOR PASEO PLACE PARCEL 1
UTILITY PLAN

CITY OF GOODYEAR, MARICOPA COUNTY, ARIZONA



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