

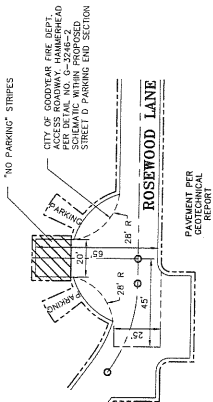
CITY OF GOODYEAR
CITY MAINTAINED LANDSCAPE AREAS
 THE CITY OF GOODYEAR SHALL BE RESPONSIBLE FOR THE CITY OF LANDSCAPE AREAS THAT ARE MAINTAINED BY THE CITY OF GOODYEAR. THE CITY OF GOODYEAR SHALL BE RESPONSIBLE FOR THE CITY OF LANDSCAPE AREAS THAT ARE MAINTAINED BY THE CITY OF GOODYEAR. THE CITY OF GOODYEAR SHALL BE RESPONSIBLE FOR THE CITY OF LANDSCAPE AREAS THAT ARE MAINTAINED BY THE CITY OF GOODYEAR.

- THE DEVELOPER SHALL MAINTAIN AND WARRANTY ALL PLANTED AREAS INCLUDING LANDSCAPE AREAS THAT ARE MAINTAINED BY THE CITY OF GOODYEAR. THE CITY OF GOODYEAR SHALL BE RESPONSIBLE FOR THE CITY OF LANDSCAPE AREAS THAT ARE MAINTAINED BY THE CITY OF GOODYEAR. THE CITY OF GOODYEAR SHALL BE RESPONSIBLE FOR THE CITY OF LANDSCAPE AREAS THAT ARE MAINTAINED BY THE CITY OF GOODYEAR.
- DURING THE MAINTENANCE AND WARRANTY PERIOD, THE DEVELOPER SHALL BE RESPONSIBLE FOR THE CITY OF LANDSCAPE AREAS THAT ARE MAINTAINED BY THE CITY OF GOODYEAR. THE CITY OF GOODYEAR SHALL BE RESPONSIBLE FOR THE CITY OF LANDSCAPE AREAS THAT ARE MAINTAINED BY THE CITY OF GOODYEAR. THE CITY OF GOODYEAR SHALL BE RESPONSIBLE FOR THE CITY OF LANDSCAPE AREAS THAT ARE MAINTAINED BY THE CITY OF GOODYEAR.
- MAINTENANCE SHALL INCLUDE CONTINUOUS OPERATIONS OF WATERING, WEEDING, INSECTICIDE AND FERTILIZER APPLICATION, TRUNK PRUNING, BRANCH PRUNING, AND DEAD PLANT MATERIAL, MOWING, ROLLING, FERTILIZING, SPRINKLING, AND SOIL CULTIVATION. MAINTENANCE SHALL BE IMMEDIATELY REPAIRED OR REPLACED AT THE DEVELOPER'S EXPENSE.
- MAINTENANCE SHALL INCLUDE CONTINUOUS OPERATIONS OF WATERING, WEEDING, INSECTICIDE AND FERTILIZER APPLICATION, TRUNK PRUNING, BRANCH PRUNING, AND DEAD PLANT MATERIAL, MOWING, ROLLING, FERTILIZING, SPRINKLING, AND SOIL CULTIVATION. MAINTENANCE SHALL BE IMMEDIATELY REPAIRED OR REPLACED AT THE DEVELOPER'S EXPENSE.
- WHEN THE TURF HAS ESTABLISHED SUFFICIENT ROOT STRUCTURE, AND AN INSECTICIDE AND FERTILIZER APPLICATION, TRUNK PRUNING, BRANCH PRUNING, AND DEAD PLANT MATERIAL, MOWING, ROLLING, FERTILIZING, SPRINKLING, AND SOIL CULTIVATION. MAINTENANCE SHALL BE IMMEDIATELY REPAIRED OR REPLACED AT THE DEVELOPER'S EXPENSE.
- AT THE TERMINATION OF THE MAINTENANCE AND WARRANTY PERIOD ALL TURF AREAS SHALL BE COMPLETELY VOID OF BROWN SPOTS LARGER THAN 3 INCHES BY 3 INCHES.
- IF ALL PLANTINGS ARE NOT ACCEPTABLE AT THE END OF THE TWO-YEAR PERIOD, LANDSCAPING MEETS CITY APPROVAL.

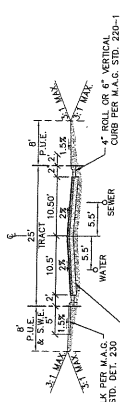
CITY OF GOODYEAR
CITY MAINTAINED RIGHT OF WAY IMPROVEMENTS
 THE CITY OF GOODYEAR SHALL BE RESPONSIBLE FOR THE CITY OF LANDSCAPE AREAS THAT ARE MAINTAINED BY THE CITY OF GOODYEAR. THE CITY OF GOODYEAR SHALL BE RESPONSIBLE FOR THE CITY OF LANDSCAPE AREAS THAT ARE MAINTAINED BY THE CITY OF GOODYEAR. THE CITY OF GOODYEAR SHALL BE RESPONSIBLE FOR THE CITY OF LANDSCAPE AREAS THAT ARE MAINTAINED BY THE CITY OF GOODYEAR.

- THE DEVELOPER SHALL MAINTAIN AND WARRANTY ALL IMPROVEMENTS FOR A PERIOD OF TWO-YEARS BEGINNING IMMEDIATELY AFTER THE CITY ISSUES THE NOTIFICATION OF THE CITY OF GOODYEAR. THE CITY OF GOODYEAR SHALL BE RESPONSIBLE FOR THE CITY OF LANDSCAPE AREAS THAT ARE MAINTAINED BY THE CITY OF GOODYEAR. THE CITY OF GOODYEAR SHALL BE RESPONSIBLE FOR THE CITY OF LANDSCAPE AREAS THAT ARE MAINTAINED BY THE CITY OF GOODYEAR.
- DURING THE MAINTENANCE AND WARRANTY PERIOD, ANY DAMAGED IMPROVEMENT IDENTIFIED BY THE CITY ENGINEERING DEPARTMENT AS A LIFE SAFETY HAZARD SHALL BE IMMEDIATELY REPAIRED OR REPLACED AT THE DEVELOPER'S EXPENSE. MAINTENANCE MEASURES REQUIRED TO MEET CITY, COUNTY, STATE, AND FEDERAL LAWS AND REGULATIONS.
- FOLLOWING THE TERMINATION OF THE MAINTENANCE AND WARRANTY PERIOD THE REPLACEMENT OF ALL DAMAGED IMPROVEMENTS AND AN APPLICATION OF AN APPROVED SEALANT SHALL BE REQUIRED AT THE END OF THE TWO-YEAR PERIOD. MAINTENANCE MEASURES REQUIRED TO MEET CITY, COUNTY, STATE, AND FEDERAL LAWS AND REGULATIONS.
- IF ALL IMPROVEMENTS ARE NOT ACCEPTABLE AT THE END OF THE TWO-YEAR PERIOD, LANDSCAPING MEETS CITY APPROVAL.
- IF ALL IMPROVEMENTS ARE NOT ACCEPTABLE AT THE END OF THE TWO-YEAR PERIOD, LANDSCAPING MEETS CITY APPROVAL.

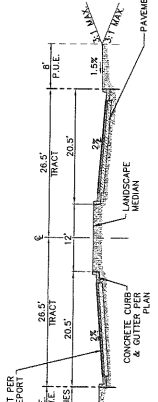
CITY OF GOODYEAR
HOMEOWNERS' ASSOCIATION
 THE VILLAGES AT ESTRELLA MOUNTAIN RANCH COMMUNITY ASSOCIATION, INC. IS RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF ALL TRACTS AND PROJECTS. THE CITY OF GOODYEAR SHALL BE RESPONSIBLE FOR THE CITY OF LANDSCAPE AREAS THAT ARE MAINTAINED BY THE CITY OF GOODYEAR. THE CITY OF GOODYEAR SHALL BE RESPONSIBLE FOR THE CITY OF LANDSCAPE AREAS THAT ARE MAINTAINED BY THE CITY OF GOODYEAR.



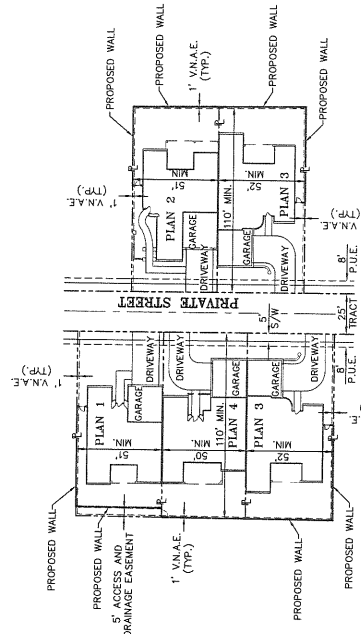
**ROSEWOOD LANE
HAMERHEAD DETAIL**
N.T.S.



**SECTION A-A
PRIVATE STREET**
N.T.S.



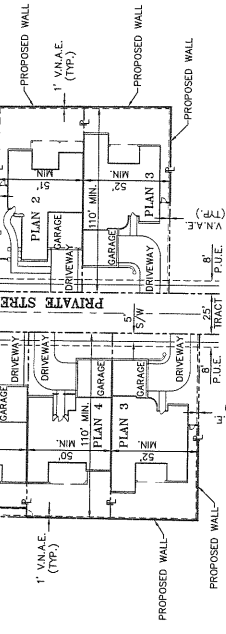
**SECTION B-B
ENTRY ROADWAY PORTION OF PRIVATE STREET**
N.T.S.



TYPICAL LOT DETAIL
N.T.S.

LEGEND

- ABBREVIATIONS**
- A.E. ACCESS UTILITY EASEMENT
 - A.R.V. AIR RELEASE VALVE
 - B.O.T. BOTTOM OF TANK ELEVATION
 - B.S.T. BUILDING SETBACK LINE
 - C.O.G. CITY OF GOODYEAR
 - D.E. DRAINAGE EASEMENT
 - E.C.B. ELECTRICAL CABLE BOX
 - E.E. ELECTRICAL EASEMENT
 - F.A. FIRE HYDRANT
 - F.H. FIRE HYDRANT
 - F.L. FLOW LINE ELEVATION
 - G.L. GAS EASEMENT
 - G.L.M. GAS LINE MARKER
 - G.C.E. GOLF CART EASEMENT
 - G.C.P. GOLF CART PATH
 - G.D. GOLF DRIVE
 - H.W. 100 YEAR HIGH WATER ELEVATION
 - I.N.E. INVERT ELEVATION
 - I.N.V. INVERT ELEVATION
 - L.E. LANDSCAPE EASEMENT
 - L.F. LANDSCAPE EASEMENT
 - M.C.R. MANICPA COUNTY RECORDS
 - (M) MEASURED DATA
 - P.T.E. PUBLIC UTILITY EASEMENT
 - P.T. POINT OF TANGENCY
 - P.C. POINT OF CONTINUOUS CURVATURE
 - P.R.C. POINT OF REVERSE CURVATURE
 - (R) RECORD DATA
 - R/W RIGHT-OF-WAY
 - S.E. SEWER EASEMENT
 - S.E. SEWER EASEMENT
 - S.V.T. SIGHT TRIANGLE PER CITY
 - T.C.E. TEMPORARY CONSTRUCTION EASEMENT
 - T.O.P. TOP OF BANK ELEVATION
 - T.O.P. TOP OF FIRE HYDRANT FLANGE ELEVATION
 - T.S. TOP OF SEWER ELEVATION
 - U.E. UTILITY EASEMENT
 - V.A.E. VEHICULAR NON ACCESS EASEMENT
 - W.S. WATER AND SEWER EASEMENT
 - W.V. WATER VALVE
 - W.S. WATER SURFACE ELEVATION
- LINE TYPES AND SYMBOLS**
- PARCEL BOUNDARY
 - RELEASE VALVE
 - EASEMENT
 - VERTICAL CURB & GUTTER
 - ROLL CURB & GUTTER
 - SANITARY SEWER PIPE & MANHOLE
 - POTABLE WATER PIPE & VALVE
 - STORM DRAIN PIPE & MANHOLE
 - DRYWELL
 - FIRE HYDRANT
 - FIRE HYDRANT MARKER
 - AIR RELEASE VALVE
 - LOW POINT
 - HIGH POINT
 - SLOPE
 - SIDEWALK
 - PROPOSED STREET LIGHT (BY OTHERS)
 - FENCE LINE
 - LANDSCAPE EASEMENT
 - OVERHEAD UTILITY LINE
 - STORM DRAIN MANHOLE
 - STREET LIGHT
 - TREE
 - TREE LINE
 - SAGUARO
 - FOUND 600' NAIL NO IDENTIFICATION
 - REPLACED WITH 1/2" REBAR
 - W/2" CAP W/2" REBAR W/2" CAP
 - SET 1/2" REBAR W/2" CAP
 - UNLESS OTHERWISE NOTED



LOT SETBACK DETAIL
N.T.S.

DATE	DESCRIPTION	REV

**PRELIMINARY PLAN FOR
AT ESTRELLA MOUNTAIN RANCH
ROSEWOOD GOLF VILLAGES**

DETAIL SHEET



WOOD/PATEL
 CIVIL ENGINEER
 2901 N. Northern Ave.
 Phoenix, AZ 85026
 (602) 930-8800
 FAX: (602) 930-8801
 EXPIRES 03-31-15

ENGINEER J. E. HAYES
CAD TECHNICIAN J. HAYES
SCALE (HORIZONTAL) 1/4" = 1'-0"
SCALE (VERTICAL) 1/4" = 1'-0"
DATE 01/10/2014
SHEET 2 OF 6
200 NUMBER 13194E



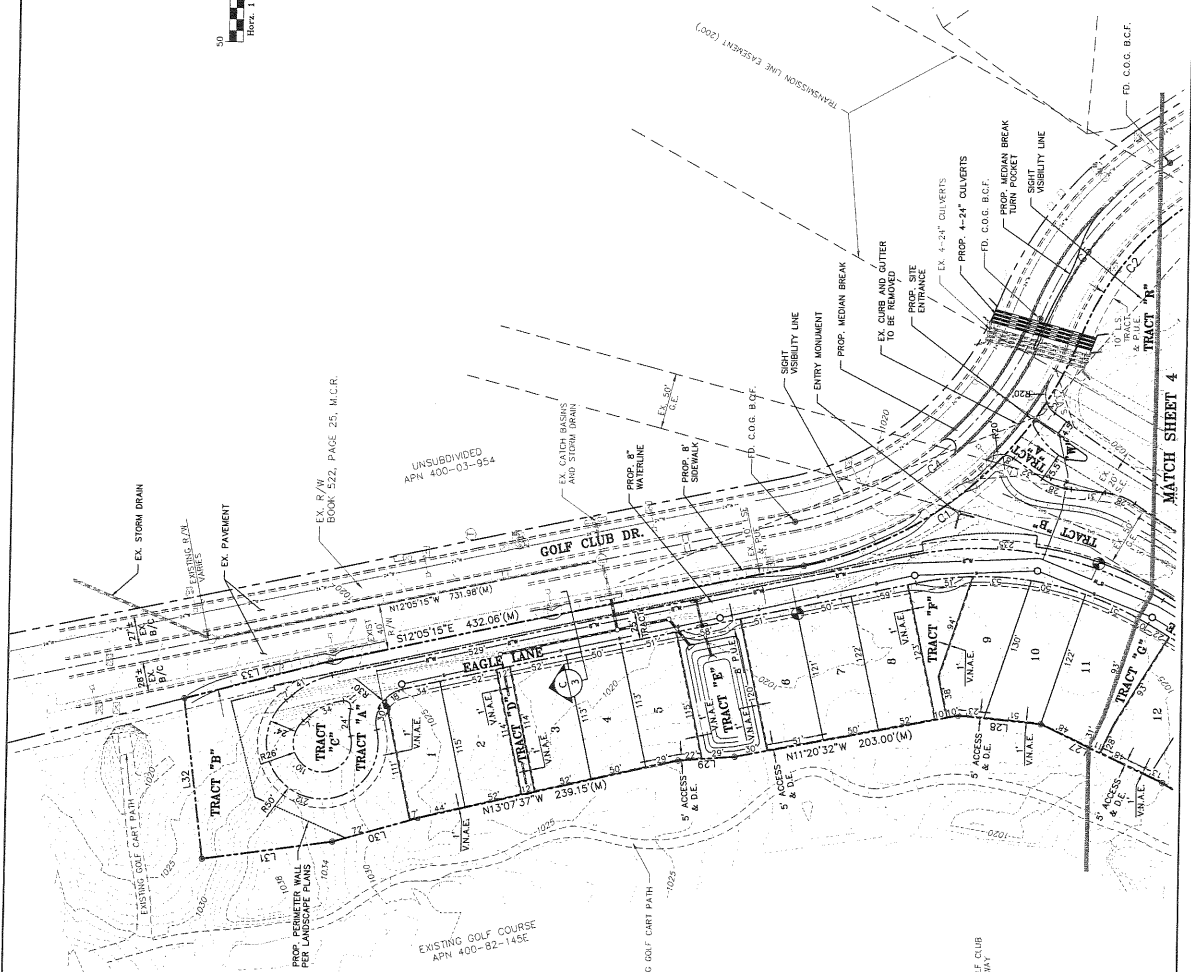
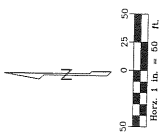
REV	DESCRIPTION	DATE

PRELIMINARY PLAT FOR
ROSEWOOD GOLF VILLAS
 AT ESTRELLA MOUNTAIN RANCH



WOOD/PATEL
 CIVIL ENGINEERS
 3001 W. North Central Ave.
 Phoenix, AZ 85012
 (602) 955-8008
 (602) 955-8009
 FAX: (602) 955-8009
 E-MAIL: WOOD/PATEL@WOODPATEL.COM

DESIGNED BY: R. HANDEL
 CHECKED BY: R. HANDEL
 DATE: 01/12/2014
 SHEET: 3 OF 6
 JOB NUMBER: 131946

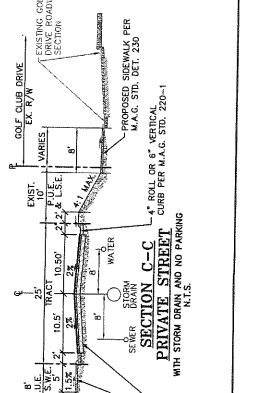


CURVE TABLE

CURVE	DELTA	RADIUS	ARC
C1	56.3022°	340.00	335.31(8)
C2	34.5943°	260.00	158.89(9)
C3	14.3343°	460.00	116.91(8)
C4	56.3022°	300.00	295.87(82)
C5	34.5943°	300.00	183.24(82)
C6	14.3343°	500.00	127.68(82)

LINE TABLE

LINE	BEARING	DISTANCE
L1	N31°19'24"W	156.30(8)
L2	N27°50'07"E	43.03(8)
L3	N58°19'43"E	33.33(8)
L4	N67°46'33"E	62.34(8)
L5	N41°19'54"E	53.35(8)
L6	N69°24'34"E	20.10(8)
L7	S74°40'24"E	14.48(8)
L8	S39°20'00"W	40.74(8)
L9	S41°20'58"E	80.25(8)
L10	S84°55'26"E	80.52(8)
L11	S34°28'34"E	24.27(8)
L12	S89°10'25"E	31.26(8)
L13	N82°02'08"E	35.75(8)
L14	S74°07'57"E	87.28(8)
L15	N17°59'28"E	35.27(8)
L16	S72°35'23"E	145.20(8)
L17	N64°09'02"E	167.75(8)
L18	S09°28'03"E	118.19(8)
L19	S44°38'15"E	110.06(8)
L20	N83°32'35"E	89.58(8)
L21	N84°26'39"E	51.23(8)
L22	N84°33'32"E	32.14(8)
L23	N52°12'52"E	106.09(8)
L24	N17°14'43"E	104.55(8)
L25	N02°13'12"W	95.31(8)
L26	N31°07'42"E	88.89(8)
L27	N24°35'34"E	120.19(8)
L28	N04°59'15"E	74.77(8)
L29	N04°14'22"W	50.64(8)
L30	N15°59'53"W	79.15(8)
L31	N68°08'47"W	117.07(8)
L32	N82°35'51"E	144.00(8)
L33	S14°37'07"E	134.78(8)
L34	N30°20'32"W	41.36(8)
L35	N68°32'40"W	55.74(8)
L36	S71°52'50"W	43.14(8)



SECTION C-C
 PRIVATE STREET
 CUB PER M.A.G. STD. 220-1
 WITH STORM DRAIN AND NO PARKING
 N.I.S.

[illegible]

CONSTRUCTION MANAGERS
LAND SURVEYORS
2051 W. Northside Ave.
Phoenix, AZ 85021
(602) 335-1800
www.ecofield.com
PENDING - HOLD - PENDING

ENGINEER
MICHAEL R. HAYLL
DESIGNER

CAD TECHNICIAN
STAFF

SCALE (HORIZONTAL)
1" = 10'

SCALE (VERTICAL)
1" = 50'

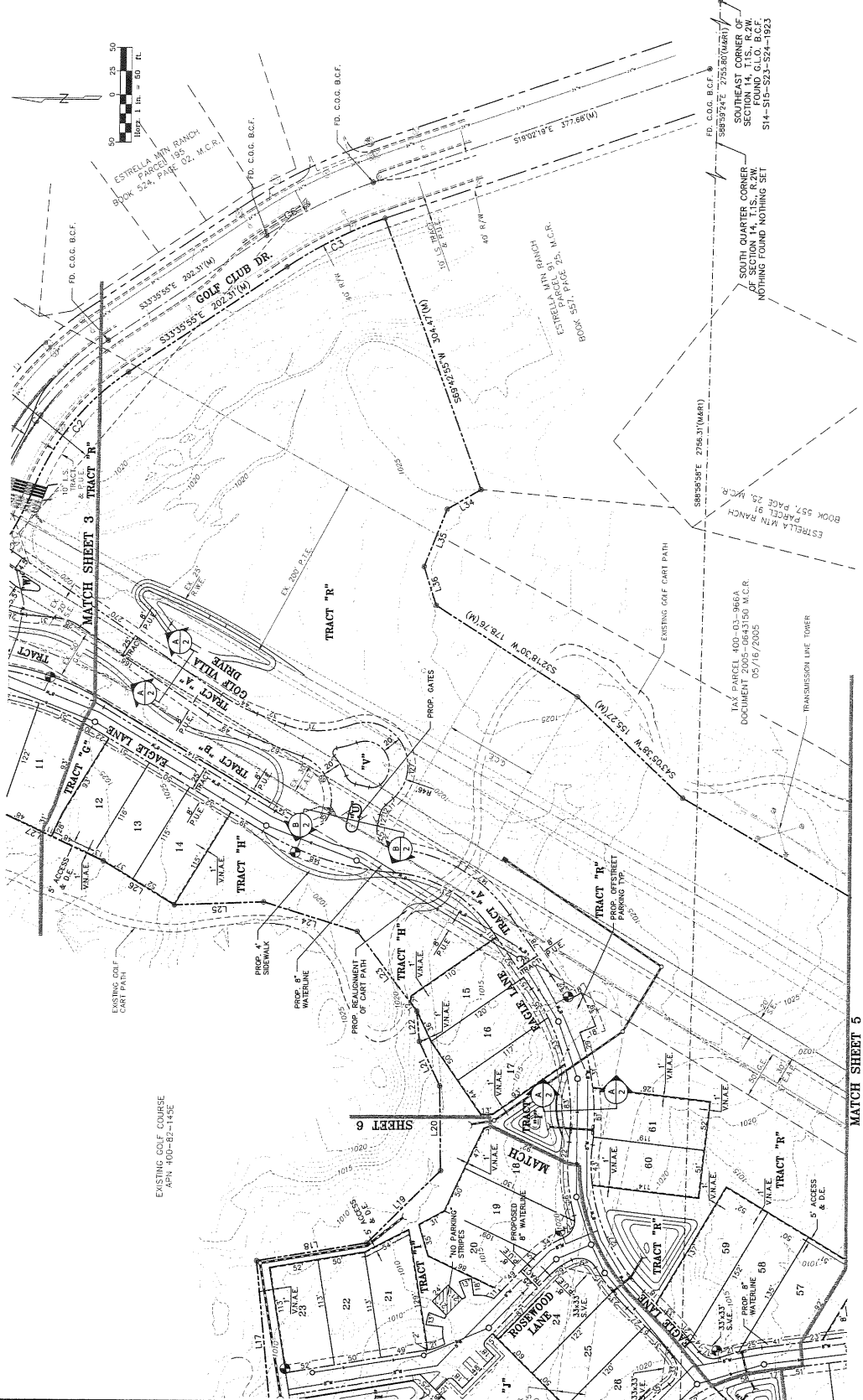
DATE 01/10/2014

JOB NUMBER 133946

SHEET
4 OF 6

Call at least two 14 working days before you begin excavation.

ARIZONA 811
Arizona Blue Book, Inc.
Call 8-11 or 1-800-674-6327. OREGON 8-8465



REV	DESCRIPTION	DATE

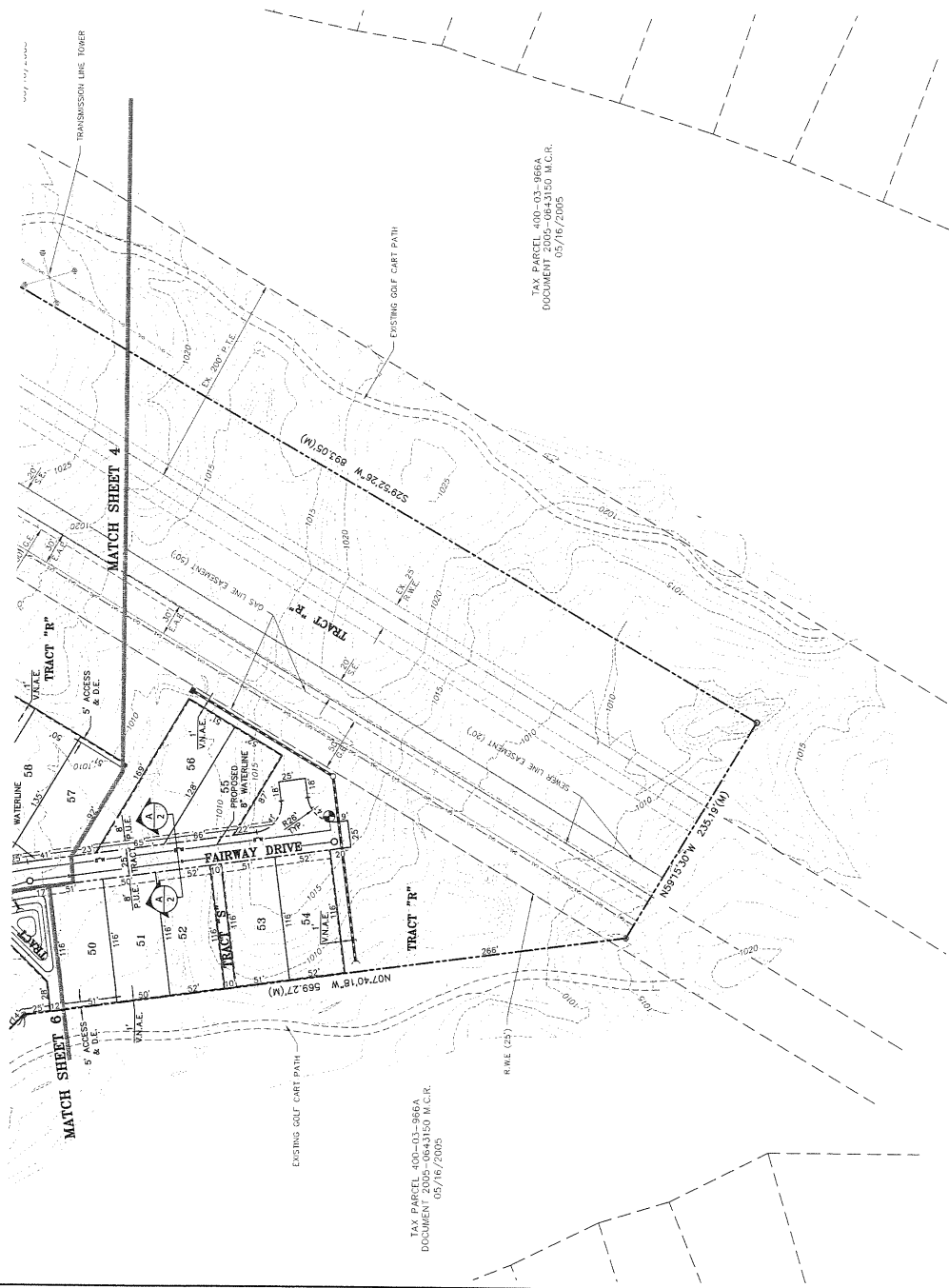
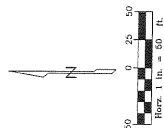
PRELIMINARY PLAT FOR
ROSEWOOD GOLF VILLAS
AT ESTRELLA MOUNTAIN RANCH



WOOD/PATEL
ENGINEERS
11110 N. 111TH AVENUE, SUITE 100
SCOTTSDALE, ARIZONA 85257
(602) 355-8500
www.woodpatel.com

DESIGNER: MICHAEL R. PATEL
CHECKED: MICHAEL R. PATEL
DATE: 07/22/2014
SHEET: 5 OF 6

PROJECT: ROSEWOOD GOLF VILLAS
AT ESTRELLA MOUNTAIN RANCH
DRAWN BY: MICHAEL R. PATEL
DATE: 07/22/2014
SHEET: 5 OF 6



TAX PARCEL: 405-03-966A
DOCUMENT: 2005-04-13-00 M.C.R.
05/16/2005

TAX PARCEL: 405-03-966A
DOCUMENT: 2005-04-13-00 M.C.R.
05/16/2005



